



COUNTY OF AMHERST



Department of Community Development
Division of Planning & Zoning
Dylan M. Bishop, Assistant Zoning Administrator/Planner

Site Plan Review
Staff Report – March 21, 2019

RE: Proposed Car Wash
Tax Map Parcel No. 148-A-46B, 46D
4176 and 4196 S Amherst Hwy
Site Plan for Car Wash in the B-2 General Commercial District

Summary:

In accordance with Section 1103 of the Amherst County Zoning Ordinance, a major site plan has been submitted by Carter Engineering Consultants, Inc. for new construction of a car wash in Madison Heights, located at tax map parcels 148-A-46B and 46D. The parcels on which the car wash will be located currently comprises 1.02 acres. Copies of the plan were reviewed by the Developmental Review Committee on February 27, 2019. The following sections summarize staff and agency comments with respect to the major elements of the plan.

Procedure for Review:

According to Section 1007.08, any development requiring preparation of a site plan under Section 1103 may be reviewed and be made subject to approval by the Planning Commission. The Commission may approve, approve with modifications or conditions, or disapprove the site plan.

An approved site plan, zoning permit, and building permit must be obtained prior to construction of the proposed improvements.

Requirements and Findings:

Zoning

- The property is zoned B-2 General Commercial District. The property is currently home to Sid's Drive In restaurant, three additional structures, and three accessory structures.
- The property is not within the Amherst County protected watershed district or in the FEMA designated 100-year floodplain. Per the National Wetlands Inventory, there are no non-tidal wetlands present within the property.

Building(s)/Structure(s)

- The proposed car wash will be three lanes that narrow into one lane that will pass through the 3,376 square foot car wash structure.
- After exiting the car wash, vehicles will come out to 21 parking spaces with vacuums under two canopies – one on the right and one on the left.
- There will be a screened dumpster enclosure at the north end of the site.
- All structures will meet setbacks outlined in Section 804.

Water/Sewer Facilities

- The property will be served by public water and sewer. The applicant is working with the Amherst County Service Authority on new water service connections.
- The existing septic system components will be abandoned in place as indicated by the Virginia Department of Health.

Streets/Parking and Loading Areas

- There are three existing graveled entrances that currently serve the lots.
- The existing entrances will be closed to accommodate the construction of two commercial access points – the southern access will be a one-way in while the northern access will be a one-way out.
- Parking requirements in Section 602 for a general business/commercial use are sufficiently met.

Sidewalks

- Sidewalks will be required along the frontage of South Amherst Highway per Section 606.

Utilities

- There are adequate existing utilities in place to serve the proposed project.

Signs

- Any proposed signage will be approved with the necessary sign permits.

Outdoor Lighting

- Lighting facilities shall be so arranged that light is reflected away from adjacent properties and streets.

Buffering/Landscaping

- Street landscaping, parking lot landscaping, and tree canopy requirements in Article 16 are sufficiently met.
- No landscaping is permitted within 10 feet of the sanitary sewer easement that runs along the frontage of South Amherst Highway. Behind this easement will be a row of shrubs to screen parking from the road.

Erosion and Sediment Control/Stormwater

- A formal Erosion and Sediment Control Plan has been submitted to the County for review.
- Should land disturbance on the site exceed one acre, a Stormwater Management Plan will be required to be submitted for review to the Department of Environmental Quality.

Recommendations:

Staff recommends approval of the proposed site plan with the following conditions:

1. Amherst County Service Authority approval of the site plan.
2. Virginia Department of Transportation approval of the site plan.
3. Approval of the Erosion and Sediment Control Plan.
4. Department of Environmental Quality approval of the Stormwater Management Plan (if applicable).

Attachments:

Site Plan Application

DRC Comments (February 27, 2018)

Tax Parcel Map

Site Plan



APPLICATION FOR SITE PLAN
Amherst County, Virginia

JAN 24 REC'D

Section A: Applicant Information

(Please print in blue or black ink)

Case No.

2019-036

Carter		Jeff
Last (Name of Applicant)		First MI
3651 Mars Hill Road, Suite 2000, Watkinsville, GA 30677		
Mailing Address		
Telephone Number (s)		770-725-1200
Home		Business
Lois Connelly (Parcel ID 148 A 46B), William Carrico and Dolly Coleman (Parcel ID 148 A 46D)		
Property Owner Name		
4176, 4180, 4196 S Amherst Highway, Madison Heights, VA 24572		
Property Address		
Proposed car wash		WCWV, LLC
Name of Development		Name of Developer
Jeff Carter, P.E.		Carter Engineering Consultants, Inc.
Person Preparing Plan		Name of Company/Firm
Sid's Drive In, Ye Olde Antique Station		
Location of Property (landmarks, intersections, or other)		
Tax Parcel ID#: 148 A 46B, 148 A 46D		
Deed Book: DB 832, DB 588		Page Number: PG 217, PG 515
Please note: A site plan of the property must be submitted with this application, in accordance with Article XI of the Amherst County Zoning/Subdivision Ordinance.		

Section B: Plan Information

(Please answer all questions as completely as possible)

How will the parcel be provided with water and sewer? (Check all that apply)

Public water ☒

Private wells ☐

Public sewer ☒

On-site septic systems ☐

Mass drainfield(s) ☐

Zoning: B-2

Comprehensive Plan Land Use Designation: Commercial

Magisterial District: EL

Total area of lot: 1.26 acres

Total area of open space/common areas: 0 acres

Total area of streets: 0 acres

Will a property owners' association be created for maintenance of open-space areas or common areas?
N/A

Is the parcel located within the Watershed District? YES ☒ NO

Are there any covenants of record or deed restrictions existing or proposed for the subject property?
If so, please attach a copy. YES ☒ NO

Is a stormwater maintenance agreement required? ☒ YES NO

Does the site plan require VDOT, Chapter 527 review? ☒ YES NO

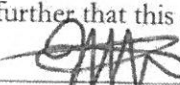
Is a Section 15.2-2232 review required for the project? YES ☒ NO
If yes, please attach justification that the general location or approximate location, character, and extent of the project is substantially in accord with the County's adopted comprehensive plan.

ADDITIONAL COMMENTS (To be completed by the owner/applicant):

Please complete and submit the attached site plan checklist along with thirteen (13) copies* of the site plan containing all information listed on the checklist. All items listed must appear on the site plan.

Section C: Signature

I do hereby certify that I have read and am familiar with the requirements for the submission of plats as provided for under the Subdivision Ordinance of the Code of Amherst County and further that this submittal is in compliance with those requirements.


Applicant's Signature

1/23/2019

Date

Amherst County Site Plan Checklist

Site Plan Information:



(A) Site plans shall be submitted at a scale of not less than one (1) inch equals one hundred (100) feet.



(B) Two (2) clearly legible blue-line or black-line copies of the site plan shall be submitted.



(C) The names and addresses of owner and developer and a scale and north arrow shall be included on all maps.

The following information shall be included on the map of existing conditions:



(1) Names and addresses of owners of record of all adjacent properties.



(2) Current zoning boundaries, including surrounding areas to a distance of three hundred (300) feet.



(3) Easements, rights-of-way, or other reservations affecting the property.



(4) Topography.



(5) Location of watercourses, marshes, rock out-cropping and wooded areas.



(6) Location of buildings existing on the tract to be developed and on adjacent tracts within a distance of one hundred (100) feet, indicating whether existing buildings on the tract are to be retained, modified or removed.



(7) Location of existing water mains, culverts, drains, pipe sizes, grades and direction of flow.

The following information shall be included on the map of proposed development:



(1) Erosion control measures as regulated by the county's Soil Erosion and Sedimentation Control Ordinance.



(2) Location and size of proposed buildings and uses thereof.



(3) Proposed topography.



(4) Proposed streets and other access and egress facilities (including curb lines, sidewalk lines and public right-of-way lines); profiles and cross-sections of streets, provided the specifications of Section 33.1-198 of the Code of Virginia, 1950, as amended, and the Minimum Standards of Entrances to the State Highways are met and said proposal shall be approved by the resident engineer.



(5) Layout of off-street parking.



(6) Location of proposed utility lines, indicating where they already exist and whether they will be underground.



(7) Proposed storm and sanitary drainage systems, both surface and subsurface, showing pipe sizes, grades flow and design loads.



(8) Proposed location, direction of, power, and the time and use of outdoor lighting.



(9) Proposed planting, including all landscaping and screening, and indicating existing trees to be retained and areas to be left undisturbed.



(10) Location, size and design of proposed signs.



(11) Facilities for disposal of trash and other solid waste.



(12) Elevation of buildings to be built or altered on site.



(13) Vicinity map at a scale no smaller than six hundred (600) feet to one (1) inch, showing all streets and property within one thousand (1,000) feet of the property for which the application is made. All properties owned or controlled by the applicant in this area shall be identified.



(14) All special site plan requirements of Section 710 must be shown for those portions of the property located within any primary or secondary watershed district. This information shall include tributary buffer strips, drain field and reserve drain field spaces, reservoir setbacks and buffer strip restriction statements, minimum septic tank maintenance standards and storm water management facilities.



(15) All private waste disposal systems including their reserve areas be located on the same property as the building site that the private waste disposal system benefits. Mass drain fields may not be subject to this proposal.



COUNTY OF AMHERST



Department of Community Development *Division of Planning & Zoning*

TELEPHONE (434) 946-9303

AMHERST COUNTY ADMINISTRATION BUILDING
153 WASHINGTON STREET
P. O. Box 390
AMHERST, VIRGINIA 24521

FAX (434) 946-9370

February 27, 2019

SENT VIA E-MAIL

Carter Engineering Consultants, Inc.
Attn: Jeff Carter, P.E.
3651 Mars Hill Road, Suite 2000
Watkinsville, GA 30677

**RE: Site Plan #2019-037 for Car Wash in the B-2 General Commercial District;
4176 and 4196 S. Amherst Hwy;
Tax Map Parcel # 148-A-46B, 46D**

The following comments need to be addressed regarding planning and zoning:

1. Per Section 1104.02.4.b, show the current zoning of the adjoining owners on the map of existing conditions (Sheet 2).
2. Per Section 1104.02.5.a, include on the cover sheet signature blocks for the zoning administrator, Virginia Department of Transportation, Amherst County Service Authority, and Erosion and Sediment Control Administrator.
3. Per Section 1104.03.3.e, proposed location, size, and design of signs can be included on the plan set.
4. Per Section 1104.03.3.j, indicate proposed location, direction of, power, time and use of outdoor lighting.
5. Per Section 1104.03.3.m, include the construction of a sidewalk in the plans (Section 606).

A set of five (5) revised plans are due back to this office on March 8, 2019 by noon in order for the request to be heard at the March 21, 2019 Planning Commission meeting.

Please contact the Planning & Zoning Division with questions or comments at (434) 946-9303 or via email at dmbishop@countyofamherst.com.

Sincerely,

Dylan M Bishop

Dylan M. Bishop
Assistant Zoning Administrator/Planner



RE: [EXTERNAL] DRC Tomorrow
Pen Read III

to:

dmbishop@CountyOfAmherst.com

02/26/2019 12:00 PM

Hide Details

From: Pen Read III <jpread@aep.com>

To: "dmbishop@CountyOfAmherst.com" <dmbishop@CountyOfAmherst.com>

2 Attachments



image003.png image004.jpg

Dylan:

Due to a meeting I have in Christiansburg tomorrow, I'll be unable to attend DRC tomorrow. However, I have looked at the site plans as well as our distribution maps, and we have adequate facilities in place along the property across from Walmart to serve the carwash. Three phase service is available if required for the project. As always, please encourage the developer to apply as early as possible for service so one of our technicians can meet at the site to discuss options – especially if proposed vehicle access to the carwash is going to require any relocation of our poles and devices.

Thanks!



J. P. (PEN) READ III | CUST SVCS ACCT REP SR

JPREAD@AEP.COM | 434-522-4339

4001 MAYFLOWER DRIVE, LYNCHBURG, VA 24501

From: dmbishop@CountyOfAmherst.com [<mailto:dmbishop@CountyOfAmherst.com>]

Sent: Tuesday, February 26, 2019 11:18 AM

To: rhopkins@acsava.com; JefferyB.Kessler@VDOT.Virginia.gov; Lewis, Sarah (VDH);
sabryant@countyofamherst.com; calvin.k.johnson@verizon.com; Pen Read III; jsbryant@CountyOfAmherst.com;
nmyoung@CountyOfAmherst.com

Cc: sgstinnett@CountyOfAmherst.com



Re: DRC Tomorrow

Lewis, Sarah

to:

dmbishop

02/28/2019 02:19 PM

Hide Details

From: "Lewis, Sarah" <sarah.lewis@vdh.virginia.gov>

To: dmbishop@countyofamherst.com

1 Attachment



noname

Hello Dylan,

Just to follow up with my comments from yesterday. It is acceptable to abandon the existing septic system components in place. If there are any old wells to be found on the property, we would ask that the owner apply for a well abandonment permit to properly abandon the well to protect groundwater. I understand that there is no knowledge of an existing well at this time. The new development is to be served by public water and public sewer.

Thank you,

On Tue, Feb 26, 2019 at 11:24 AM <dmbishop@countyofamherst.com> wrote:

Good afternoon,

Just a reminder that we will have DRC tomorrow morning at 9am in the Administration Conference Room.

Please bring or send me your comments for the car wash and let me know if you will not be able to make it.

Thanks,

Dylan M. Bishop, Assistant Zoning Administrator/Planner
Amherst County Community Development
P.O. Box 390
Amherst, Va 24521

Notes for February 27, 2019 Amherst County Development Review Committee

W4 Development Car Wash at 4180 S. Amherst Hwy.

James Carter, P.E. Carter Engineering Consultants, Watkinsville, GA.

Initial Comments for Jan. 21, 2019 Site Plan

1. VDOT accepted entrance site plan and entrance permit is required.
2. A VDOT Access Management Exception (AM-E) for commercial entrance spacing is required.
 - a. Form AM-E
 - b. Site Plan show existing and proposed entrances
 - c. Entrance location(s) measured location to closest intersection, and to the closest adjoining commercial entrances.
 - d. Measured sight distances (SSD & ISD) along with Posted Speed Limit
 - e. ITE Trip Generation (Daily and Peak Hour)
3. Utilize VDOT Site Plan Check List to address VDOT's requirements (Handout)
4. Utilize VDOT Site Plan General Notes (Handout)
5. Maintenance of Traffic Plan Required (Handout)
6. Specific Observations
 - a. Entrance type (CG-11) width (16-20 Ft) & radii (25 Min.) for one way (RDM – Appdx. F.)
 - b. Designate Design Vehicle & provide Turn Templates
 - c. Require entrance profile and spot elevations
 - d. CG-12 and sidewalk (4' buffer & 5' sidewalk)
 - e. Include VDOT ROW and permanent easement
 - f. Analysis for vehicle queue storage capacity and flow time (no blocking Route 29 B.)
7. Additional Comments upon further reviews
8. VDOT will require electronic copy for review.

Minimum Components of Maintenance of Traffic (MOT) Plan

The following items need be included as part of the MOT Plan Submitted to VDOT:

- Narrative description of work activity to be performed.
- Routes where work is to be performed.
- Time of day when work is to be performed.*
- Projected number of days required to complete the work covered under permit involving traffic control.
- Statement acknowledging the contractor's responsibility to notify SW Region Traffic Operations Center (540-375-0170) daily upon entering and exiting the roadway.
- Statement acknowledging the contractor's responsibility to contact VDOT Traffic Engineering Section (James Holt – 434-856-8158) a minimum of 7 day prior to commencement of installation activities within 1,000 feet of signalized intersections, flashing signs, or other VDOT electrical facilities. This includes excavation, trenching, or boring.
- Statement acknowledging the contractor's responsibility to contact VDOT Land Use Section Representative, Jeff Kessler (434.856.8293) , prior to commencing work within VDOT right-of-way.
- Name and contact information for contractor's field supervisor.
- Method of traffic control to be utilized. References to the applicable April 2015 Revision to the 2011 Virginia Work Area Protection Manual (VWAPM) Typical Traffic Control (TTC) figures and notes shall be provided. Include traffic control for any intersecting streets affected. Additional details may be required depending on complexity of the work activity and specific work zone needs.
Website: http://www.virginiadot.org/business/resources/wztc/Virginia_WAPM_2011_web.pdf
- Statement of verification that all traffic control devices used conform to the 2009 Manual on Uniform Traffic Control Devices (MUTCD), the Virginia Supplement to The 2009 Manual on Uniform Traffic Control Devices for Streets and Highways 2011 Edition, and National Cooperative Highway Research Program (NCHRP) Report 350.
NCHRP 350 Website: www.virginiadot.org/business/locdes/nchrp350-index.asp
MUTCD Website: <http://mutcd.fhwa.dot.gov/>
- Identification of provisions that will be taken to ensure the safe passage of emergency vehicles at all times.
- Statement acknowledging that work zones requiring flagging operations at signalized intersections shall involve coordination with law enforcement agencies and VDOT prior to work commencing.

*VDOT Land Use Regulations require that work be performed during non-peak hours of 9:00 AM to 3:30 PM Monday – Friday on all public roads classified as “arterial” or “collector”, unless otherwise approved by VDOT. All public roads classified as “local” roads shall have unrestricted work hours and days. Permitted nonemergency work will not be allowed on public roads classified as “arterial” or “collector” from noon on the preceding weekday through the following state observed holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day, and Christmas Day



AMHERST COUNTY SERVICE AUTHORITY

P. O. BOX 100

MADISON HEIGHTS, VA 24572-0100

PHONE (434) 845-1605

FAX (434) 845-1613

February 24, 2019

Ms. Dylan M. Bishop
Assistant Zoning Administrator/Planner
Amherst County Dept. of Community Development
PO Box 390
Amherst, VA 24521

**RE: W4 Development Carwash
Site Plan Review**

Dear Ms. Bishop:

In response to your request, I have reviewed the referenced plan. For your use and forwarding to the applicant, the following comments are provided:

1. Sht. 1: Note 22 should be revised to delete "CITY'S" and replace it with "AMHERST COUNTY SERVICE AUTHORITY'S".
2. All plan sheets: A legend describing all symbols and abbreviations on the plan should be added. What is "MNS"?
3. Sht. 2: An existing water meter is shown, with no indication of the service lines to and from it and no indication as to its intended use. Is it to be removed or remain in service?
4. Sht. 2: The existing public sanitary sewer is continuous across the entire property frontage, but is not shown across the property with the two Rte 29 entrances. Are there no sewer manholes along this long stretch of sewer?
5. Sht. 2: The three existing signs (one in front of the 2 story building and two at the southern limits of the asphalt near Rte 29) appear to encroach into the public sewer easement along the site frontage and will need to be removed.
6. Sht. 3: What is the dashed line, shaded rhombus along the site frontage, just south of the north entrance?
7. Sht. 3: If the existing water meter is to remain in service, the lines to and from it should be shown on the plan.
8. Sht. 4: Details, product information, and design information regarding the 750 gal. oil-water separator need to be submitted.
9. Sht. 4: A cleanout needs to be added to the new 6" sanitary sewer service at the Rte 29 right-of-way line.
10. Sht. 4: Provide a detail of the new 6" sewer connection to the existing manhole, for ACSA's use in making the connection and setting the cleanout, and to show no conflict with the existing public sewer main.
11. Sht. 4: If the existing water meter is to remain in service, the lines to and from it should be shown on the plan.

12. Sht. 4: A water meter needs to be added to the new 2" water service at the Rte 29 right-of-way line.
13. Sht. 4: A traffic control plan for the bored-jacked installation of the new 2" water service beneath Rte 29 needs to be added to the plan set.
14. Sht. 4: The following notes need to be added:
 1. The contractor shall not disturb or operate any public water or sewer facilities, but shall call Amherst County Service Authority. Contact is Bob Hopkins, Director of Public Utilities, 434-221-8757.
 2. The new 2" water service from the main to the water meter at the Rte 29 right-of-way line shall be installed by Amherst County Service Authority.
 3. The new 6" sewer service from the main to the new cleanout at the Rte 29 right-of-way line shall be installed by Amherst County Service Authority.
 4. All work to be performed in the public road rights-of-way or public utility easements regarding water and sewer utilities must be completed in accordance with the current ACSA Master Specifications.
 5. The contractor is responsible for any damage to public water and sewer facilities resulting from the construction.
15. Sht. 4: The new 6" sewer service from the manhole to the new cleanout at the Rte 29 right-of-way line shall be installed by Amherst County Service Authority. The applicant shall provide all information required for the installation. Costs of the new connection, including availability fee, if applicable, shall be paid by the applicant.
16. Sht. 4: The new 2" water service from the existing public water main to the new water meter at the Rte 29 right-of-way line shall be installed by Amherst County Service Authority. The applicant shall provide all information required for the installation. Costs of the new connection, including availability fee, if applicable, shall be paid by the applicant.
17. Sht. 4: The irrigation water service requires a separate water connection on the public line installed by Amherst County. The applicant shall provide all information required for the installation. Costs of the new connection, including availability fee, if applicable, shall be paid by the applicant. The applicant should be advised that central Virginia annual rainfall is typically sufficient to preclude the need for onsite irrigation.
18. Sht. 11: Product information, including design calculations, maintenance requirements, etc. regarding the oil-water separator needs to be submitted for review and approval by ACSA.
19. Sht. 11: Product information, including design calculations, maintenance requirements, etc. regarding the car wash water reclaim system needs to be submitted for review and approval by ACSA.
20. Sht. 11: The HDPE Manhole Pipe Connection Detail can be deleted; ACSA is responsible for the new sewer service from the manhole to the new cleanout.
21. The applicant is advised to obtain a current copy of the ACSA Master Specifications, to ensure that all such work is shown in conformance with ACSA requirements (contact Mr. Mike Wilson, PE, Hurt & Proffitt, Inc., 434-546-6156).
22. The following details from the ACSA Master Specifications Manual need to be added to the plan set and implemented by the construction:

BP-3	Backflow Preventer, Reduced Pressure Zone, for Landscape Irrigation (if still applicable)
CO-2	Sanitary Cleanout, Type 2
CS-1	Sealed Casing Installation Spider
CS-2	Typical Water or Sewer Main Location Within VDOT Right-of-Way
M-2	Meter Installation, 1½" and 2"

22. Sht. 14: No landscaping is permitted within the 10' of the public sewer main along the site frontage. In addition, woody vegetation must be sited so that its canopy extent (and thus its root system) is also at least 10' from the sewer pipe.
23. Any required fees pertaining to water and sewer services will be determined with the submittal of final plans.
22. All work from the water meter and the sanitary sewer cleanout to the building will be the owner's responsibility.

Thank you for the opportunity to review the plan. Please contact me if there are any questions.

Sincerely,

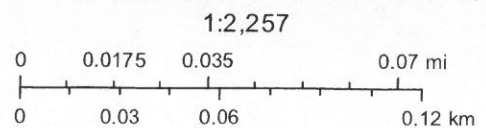
AMHERST COUNTY SERVICE AUTHORITY

A handwritten signature in black ink, appearing to read "Robert A. Hopkins".

Robert A. Hopkins, PE
Director of Public Utilities



March 15, 2019



The GIS data is proprietary to the County, and title to this information remains in the County. All applicable common law and statutory rights in the GIS data including, but not limited to, rights in copyright, shall and will remain the property of the County. Information shown on these maps are derived from public records that are constantly undergoing change and do not replace a site survey, and is not warranted for content or accuracy.

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FOR

W4 DEVELOPMENT

CAR WASH

CLIENT

W4 DEVELOPMENT

PROJECT LOCATION

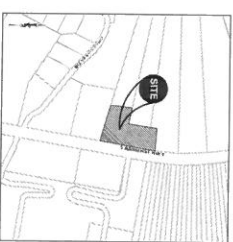
4180 S AMHERST HWY & 4176 S AMHERST HWY
MADISON HEIGHTS, AMHERST COUNTY
VIRGINIA 24572

VIRGINIA 24572

MADISON HEIGHTS, AMHERST COUNTY

TAX PARCEL ID # 148 A 46B

JANUARY 21, 2019



LOCATION MAP
SCALE: N.T.S.

PROJECT NOTES

D-131019P
M4 Development
P.O. Box 42
Boyle's Grove, N.S.W. 2062

DEVELOPER
Gann Engineering Consultants, Inc.
1815 94th Ave Road, Suite 2000
Westborough, MA 01581
Telephone: 401/339-7100
FAX: 401/339-7101
E-mail: gann@compuserve.net

CONNECTION COORDINATES
N 37° 27' 45.4" W 79° 07' 08.7"

SHEET INDEX	
SHEET NO.	DESCRIPTION

2	COVER SHEET
3	EXISTING CONDITIONS & DEMO PLAN
4	MAINTENANCE OF TRAFFIC PLAN
5	SITE PLAN
6	SITE PLAN - TURN TEMPLATE
7	UTILITY PLAN
8	GRADING & DRAINAGE PLAN
9	STORMWATER MANAGEMENT DETAILS
10	EROSION CONTROL PLAN - PHASE I
11	EROSION CONTROL PLAN - PHASE II
12	EROSION CONTROL PLAN - PHASE III
13	STANDARD DETAILS
14	STANDARD DETAILS
15	ADA ACCESS PLAN
16	ADA DETAILS
17	LANDSCAPE PLAN
18	LANDSCAPE DETAILS

REVISION BLOCK

REV NO	DATE	DESCRIPTION
1	01.21.2019	INITIAL SUBMITTAL
2	03.08.2019	ADDRESS COUNTY COMMENTS



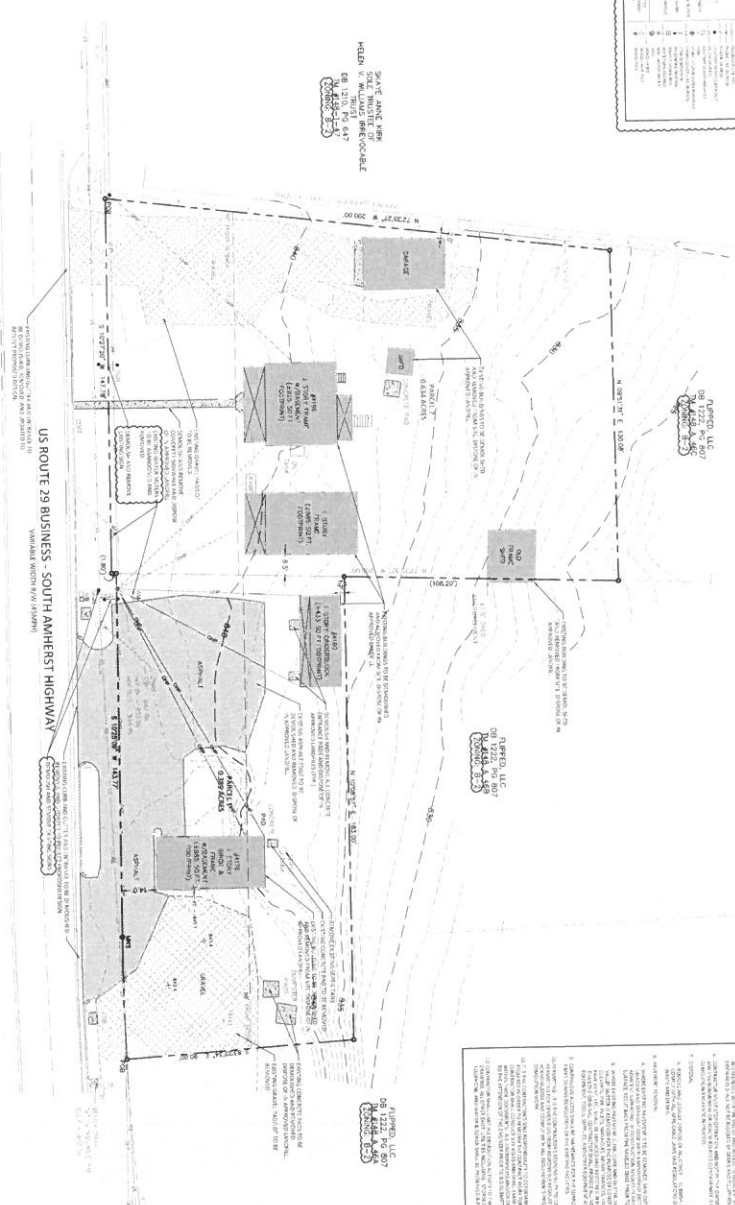
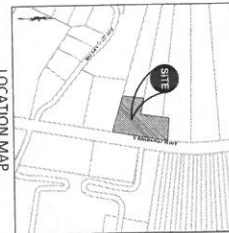
Cartier Engineering Consultants, Inc.
3651 Mars Hill Road
Suite 2000
Watkinsville, GA 30677
P: 770-725-1200
F: 770-725-1204
www.cartierengineering.net

24-HOUR CONTACT:
Ben Doster (678) 977-5497



COUNTY APPROVALS

[illegible]

[illegible][illegible][illegible]

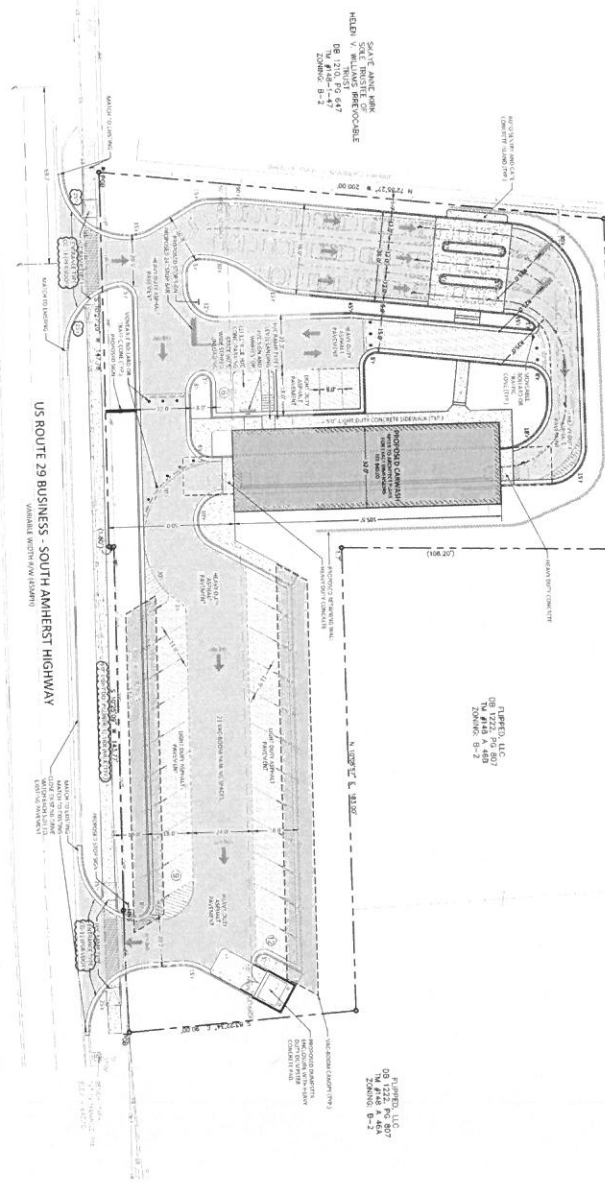
**CARTER
ENGINEERING
CONSULTANTS**

1500 N. 17th Street, Suite 200
Tucson, Arizona 85710
Tel: 520/281-1200
Fax: 520/281-1204
www.cartereng.com

SITE DEVELOPMENT PLANS
for
W4 DEVELOPMENT
4180 & 4176 S AMHERST HWY, MADISON HEIGHTS,
AMHERST COUNTY, VA

W4	DEVELOPMENT
SHEET TITLE	EXISTING CONDITIONS & DEMO PLAN
SHEET NUMBER	2
PROJECT NUMBER	18001W4D
DATE	03/08/19

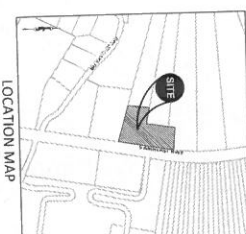
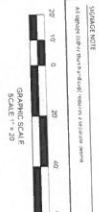
SYMBOL	DESCRIPTION
(Symbol)	Proposed Building Footprint
(Symbol)	Proposed Parking Area
(Symbol)	Proposed Driveway
(Symbol)	Proposed Access Road
(Symbol)	Proposed Stormwater Management
(Symbol)	Proposed Landscaping
(Symbol)	Proposed Utility Lines
(Symbol)	Proposed Erosion Control
(Symbol)	Proposed Fencing
(Symbol)	Proposed Signage
(Symbol)	Proposed Security Features
(Symbol)	Proposed Other Features



PROJECT, LLC
 1211 N. 10TH ST
 ZONING: B-2

PROJECT, LLC
 1211 N. 10TH ST
 ZONING: B-2

PROJECT, LLC
 1211 N. 10TH ST
 ZONING: B-2



PROJECT NOTES:

1. The site is located within the B-2 Zoning District. The proposed development is consistent with the zoning requirements.

2. The proposed building footprint is shown in solid black. The proposed parking area is shown in light gray. The proposed driveway is shown in dashed black. The proposed access road is shown in dashed black. The proposed stormwater management is shown in light gray. The proposed landscaping is shown in light green. The proposed utility lines are shown in dashed black. The proposed erosion control is shown in light gray. The proposed fencing is shown in dashed black. The proposed signage is shown in light gray. The proposed security features are shown in light gray. The proposed other features are shown in light gray.

3. The proposed development is subject to the following conditions:

- The proposed building footprint must be constructed within the proposed building footprint.
- The proposed parking area must be constructed within the proposed parking area.
- The proposed driveway must be constructed within the proposed driveway.
- The proposed access road must be constructed within the proposed access road.
- The proposed stormwater management must be constructed within the proposed stormwater management.
- The proposed landscaping must be constructed within the proposed landscaping.
- The proposed utility lines must be constructed within the proposed utility lines.
- The proposed erosion control must be constructed within the proposed erosion control.
- The proposed fencing must be constructed within the proposed fencing.
- The proposed signage must be constructed within the proposed signage.
- The proposed security features must be constructed within the proposed security features.
- The proposed other features must be constructed within the proposed other features.

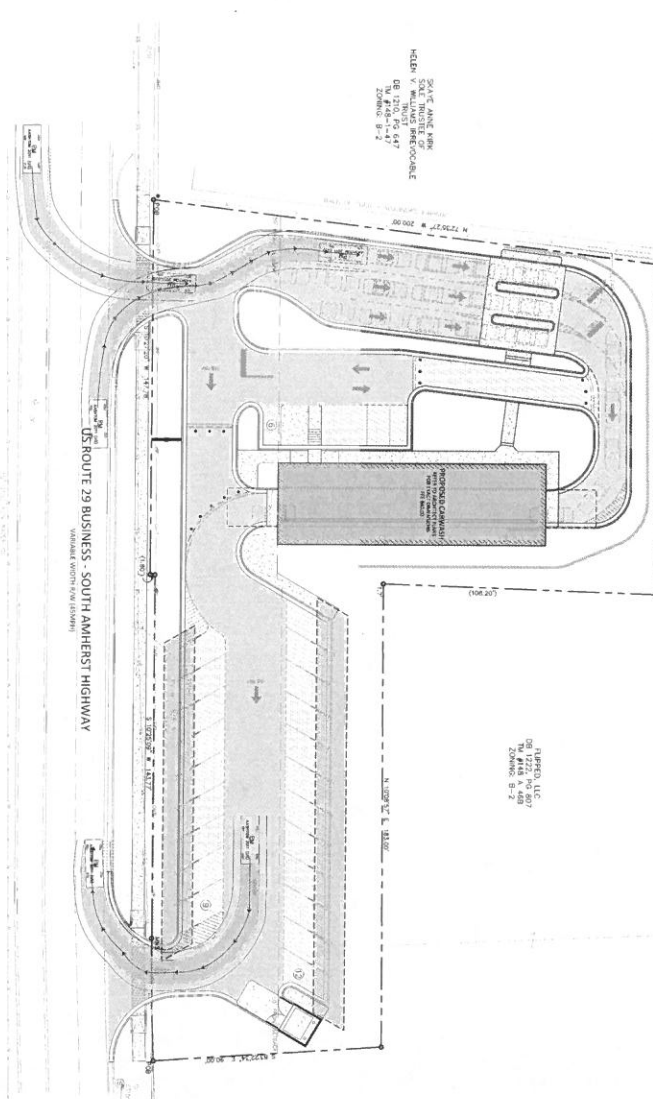
SITE DEVELOPMENT PLANS for **W4 DEVELOPMENT** 4180 & 4176 S AMHERST HWY, MADISON HEIGHTS, AMHERST COUNTY, VA

PROJECT NAME	W4 DEVELOPMENT
SHEET TITLE	SITE PLAN
DATE	03/08/19



REVISION BLOCK
1
2
3
4
5
6
7
8
9
10

SYMBOL	DESCRIPTION
1	Proposed Building Footprint
2	Proposed Parking Area
3	Proposed Driveway
4	Proposed Access Road
5	Proposed Stormwater Management Facility
6	Proposed Retaining Wall
7	Proposed Fencing
8	Proposed Landscaping
9	Proposed Utility Lines
10	Proposed Erosion Control Measures
11	Proposed Security Features
12	Proposed Other Features



SCALE AND HKS
HKS V. WILLIAMS PREPARED
BY: J. H. H. H.
DATE: 11-1-11
SHEET: 1 OF 1

PROJECT, LLC
11111 N. 11111
11111 N. 11111
11111 N. 11111

PROJECT, LLC
11111 N. 11111
11111 N. 11111
11111 N. 11111

PROJECT, LLC
11111 N. 11111
11111 N. 11111
11111 N. 11111



LOCATION MAP
SCALE: N.T.S.



DATE: 03/08/19
PROJECT NUMBER: 18001WAD

ITEM	DESCRIPTION	QUANTITY	UNIT
1	Proposed Building Footprint	1	SQ. FT.
2	Proposed Parking Area	1	SQ. FT.
3	Proposed Driveway	1	SQ. FT.
4	Proposed Access Road	1	SQ. FT.
5	Proposed Stormwater Management Facility	1	SQ. FT.
6	Proposed Retaining Wall	1	SQ. FT.
7	Proposed Fencing	1	SQ. FT.
8	Proposed Landscaping	1	SQ. FT.
9	Proposed Utility Lines	1	SQ. FT.
10	Proposed Erosion Control Measures	1	SQ. FT.
11	Proposed Security Features	1	SQ. FT.
12	Proposed Other Features	1	SQ. FT.

ITEM	DESCRIPTION	QUANTITY	UNIT
1	Proposed Building Footprint	1	SQ. FT.
2	Proposed Parking Area	1	SQ. FT.
3	Proposed Driveway	1	SQ. FT.
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6	Proposed Retaining Wall	1	SQ. FT.
7	Proposed Fencing	1	SQ. FT.
8	Proposed Landscaping	1	SQ. FT.
9	Proposed Utility Lines	1	SQ. FT.
10	Proposed Erosion Control Measures	1	SQ. FT.
11	Proposed Security Features	1	SQ. FT.
12	Proposed Other Features	1	SQ. FT.

PROJECT, LLC
11111 N. 11111
11111 N. 11111
11111 N. 11111

PROJECT, LLC
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PROJECT, LLC
11111 N. 11111
11111 N. 11111
11111 N. 11111

DATE: 03/08/19
PROJECT NUMBER: 18001WAD

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DATE: 03/08/19
PROJECT NUMBER: 18001WAD

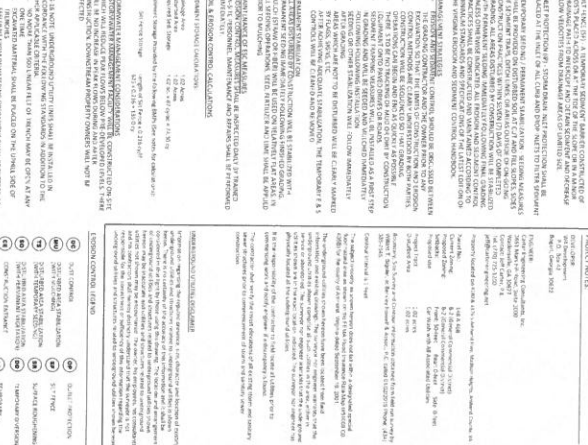
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PROJECT NUMBER: 18001WAD

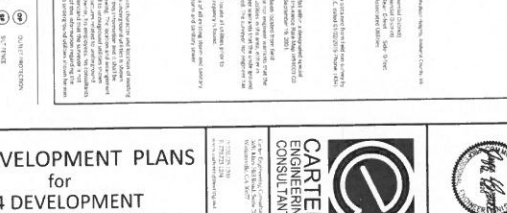
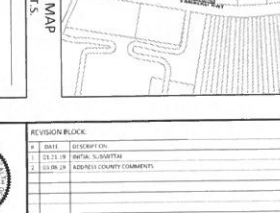
DATE: 03/08/19
PROJECT NUMBER: 18001WAD

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PROJECT NUMBER: 18001WAD

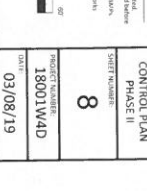
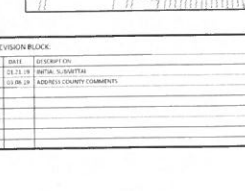
DATE: 03/08/19
PROJECT NUMBER: 18001WAD

DATE: 03/08/19
PROJECT NUMBER: 18001WAD

[illegible][illegible]



DATE	03/08/19
PRODUCT NUMBER	18001WAD
SHEET NUMBER	8
SHEET TITLE	EROSION CONTROL PLAN PHASE II

[illegible]

ACTIVITY SCHEDULE

DATE: 03/08/19

Activity	Start Date	End Date	Start Time	End Time	Frequency	Preparation
Site Visit	03/08/19	03/08/19	08:00	12:00	1	1
Design Meeting	03/08/19	03/08/19	13:00	17:00	1	1
Permitting	03/08/19	03/08/19	08:00	12:00	1	1
Construction	03/08/19	03/08/19	08:00	12:00	1	1
Final Review	03/08/19	03/08/19	08:00	12:00	1	1

US ROUTE 29 BUSINESS - SOUTH AMHERST HIGHWAY

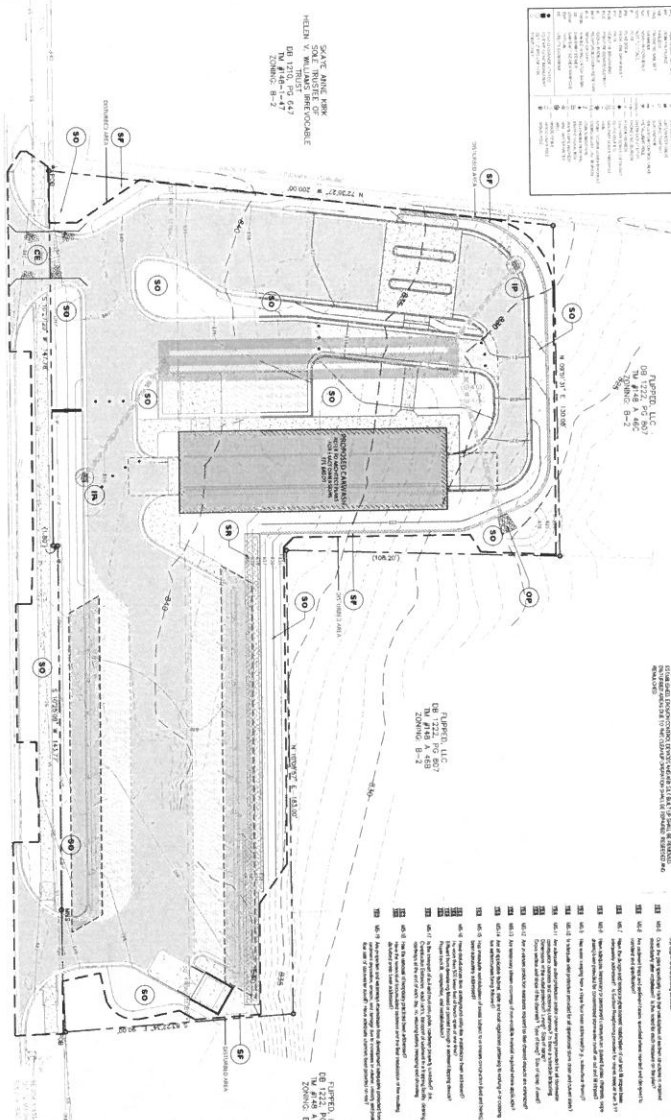
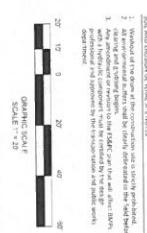


Figure 1.1: SITE PLAN
 Scale: 1" = 50'-0"
 Date: 03/08/19

Figure 1.2: SITE PLAN
 Scale: 1" = 50'-0"
 Date: 03/08/19

GENERAL NOTES

1. THE SITE PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.
2. THE SITE PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.
3. THE SITE PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.
4. THE SITE PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.
5. THE SITE PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.
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7. THE SITE PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.
8. THE SITE PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.
9. THE SITE PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.
10. THE SITE PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.



SITE DEVELOPMENT PLANS for **W4 DEVELOPMENT** 4180 & 4175 S AMHERST HWY, MADISON HEIGHTS, AMHERST COUNTY, VA

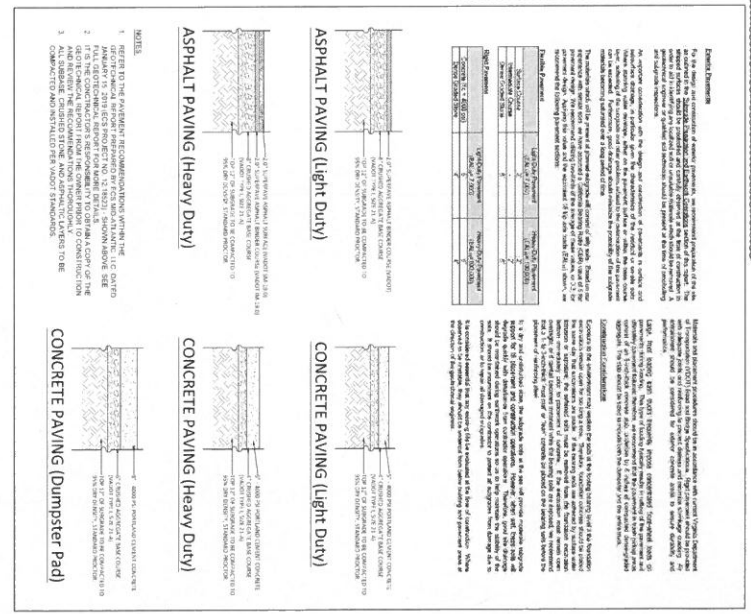
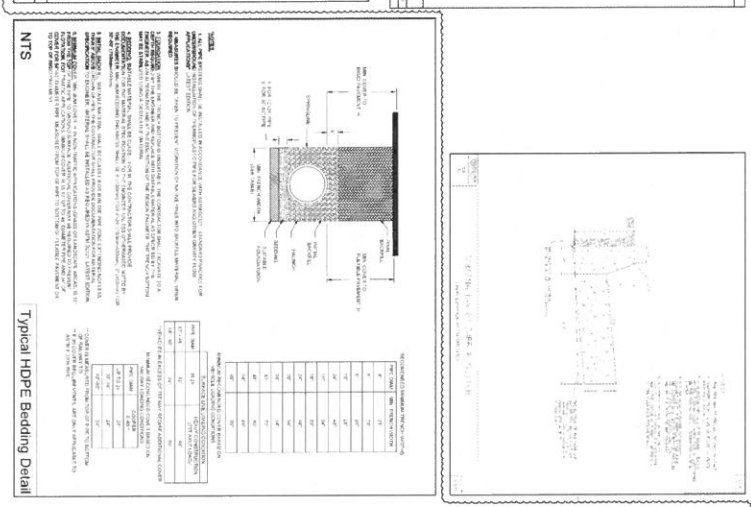
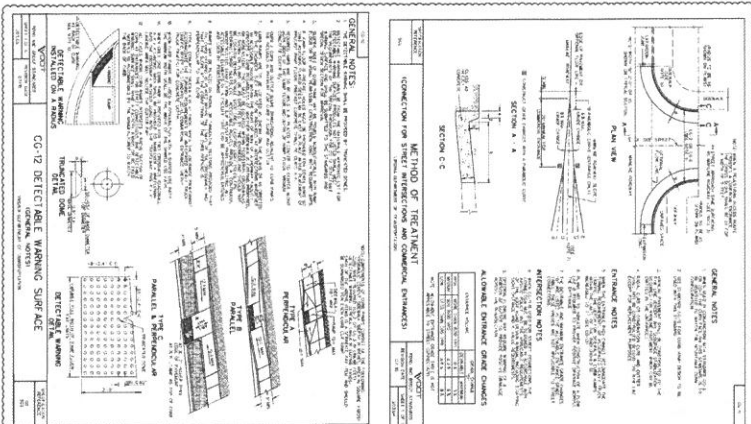
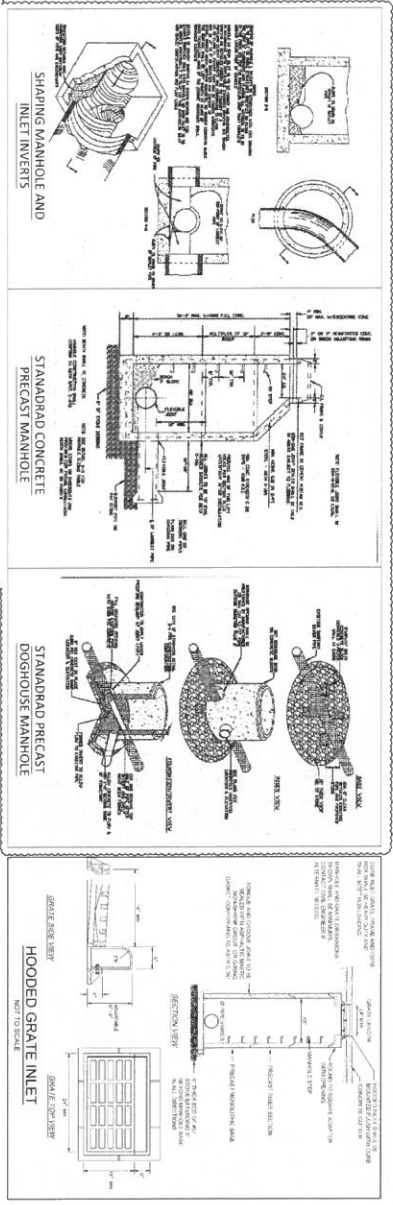


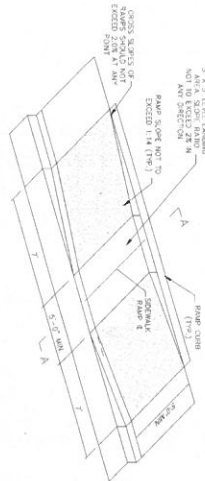
REVISION BLOCK

NO.	DATE	DESCRIPTION
1	03/08/19	Initial Design
2	03/08/19	Revised Design
3	03/08/19	Final Design

PROJECT NUMBER: 18001W4D
DATE: 03/08/19

PROJECT NAME: W4 DEVELOPMENT
PHASE: CONTROL PLAN
9





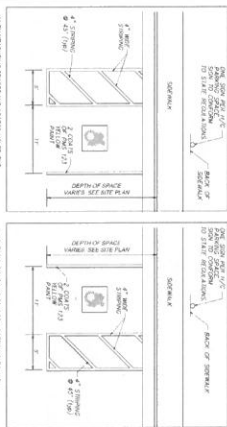
ISOMETRIC VIEW OF RAMP



SECTION AA

- NOTES:
1. HANDICAP RAMP CONSTRUCTION SHALL CONFORM TO ALL FEDERAL, STATE AND CITY CODES AND SPECIFICATIONS.
 2. SURFACES SHALL MEET THE REQUIREMENTS OF 2010 ADA AND THE 2008 ADAAG.
 3. THE SLOPE OF THE RAMP SHALL NOT EXCEED 1:20 (5% MAXIMUM) TO THE RAMP.

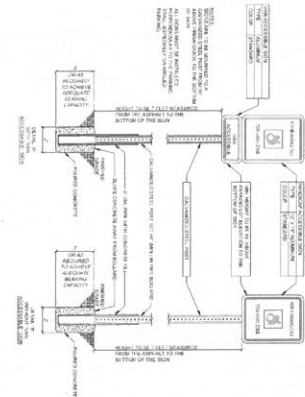
11/11/11



PAINTED HANDICAPPED PARKING SPACE & SYMBOL
NOT TO SCALE



PAINTED HANDICAPPED PARKING SPACE & SYMBOL
NOT TO SCALE



HANDICAPPED PARKING ONLY SIGNS
NOT TO SCALE



CARTER
ENGINEERING
CONSULTANTS, INC.

18001WAD
03/08/19

SITE DEVELOPMENT PLANS
for
W4 DEVELOPMENT
4180 & 4176 S AMHERST HWY, MADISON HEIGHTS,
AMHERST COUNTY, VA

W4
DEVELOPMENT

ADA DETAILS

13

18001WAD
03/08/19

DATA SHEET									
GENERAL DATA		DESIGN DATA		ANALYSIS		DESIGN		REMARKS	
DATE	NO.	NAME	NO.	NAME	NO.	NAME	NO.	NAME	NO.
<p>1. PROJECT DATA</p> <p>Project Name: <input type="text"/></p> <p>Project No.: <input type="text"/></p> <p>Project Location: <input type="text"/></p> <p>Project Description: <input type="text"/></p>									
<p>2. DESIGN DATA</p> <p>Design Standard: <input type="text"/></p> <p>Design Speed: <input type="text"/></p> <p>Design Lane Width: <input type="text"/></p> <p>Design Shoulder Width: <input type="text"/></p> <p>Design Right-of-Way Width: <input type="text"/></p>									
<p>3. ANALYSIS DATA</p> <p>Analysis Method: <input type="text"/></p> <p>Analysis Results: <input type="text"/></p> <p>Analysis Comments: <input type="text"/></p>									
<p>4. DESIGN RESULTS</p> <p>Design Results: <input type="text"/></p> <p>Design Comments: <input type="text"/></p>									
<p>5. REMARKS</p> <p>Remarks: <input type="text"/></p>									

