

Board Agenda Summary

Meeting Date: August 21, 2012

Item No: V (a)

Department: Planning Department

Issue: **Public Hearing**

Summary: Request by Verizon Wireless for a special exception application to replace an existing 50 foot tall wooden monopole with a 120 foot tall steel pole. The wireless communication facility is located on a ridge that is skylighted and considered to be located in an avoidance area. The parcel is located at 369 Moses Mountain Road and is further identified as tax map number 52-A-5.

Attachments: Staff Report

Recommendation: Conduct the public hearing and consider the recommendation from the Planning Commission's August 16, 2012 Meeting.

NOTICE OF MEETING

AMHERST COUNTY BOARD OF SUPERVISORS

The Amherst County Board of Supervisors will hold a public hearing Tuesday, August 21, 2012, in the Amherst County Administration Building, 153 Washington Street, Amherst, at 7:00 PM on the following requests. Information pertaining to the requests is on file and available for public review at the office of the County Administrator and the Planning Department in the Amherst County Administration Building weekdays, between 8:30 AM and 5:00 PM. Accommodations for persons with a sight, speaking or hearing disability will be made by this office if notified a minimum of four working days prior to the hearing date. Telephone 434-946-9303, TDD 434-946-9335.

- 2012-14 Request by Verizon Wireless for a special exception application to replace an existing 50 foot tall wooden monopole with a 120 foot tall steel pole. The wireless communication facility is located on a ridge that is skylighted and considered to be located in an avoidance area. The parcel is located at 369 Moses Mountain Road and is further identified as tax map number 52-A-5.

**SPECIAL EXCEPTION STAFF REPORT
AUGUST 2012**

ZONING REQUEST: 2012-14

PETITIONER: Verizon Wireless

OWNER: Barbara G. Ramsey

REQUEST: Request by Verizon Wireless for a special exception application to replace an existing 50 foot tall wooden monopole with a 120 foot tall steel pole. The wireless communication facility is located on a ridge that is skylighted and considered to be located in an avoidance area.

LOCATION/ MAP NUMBER: 369 Moses Mountain Road / 52-A-5

SIZE: 157 Acres

EXISTING LAND USE: Existing Wireless Communication Facility / Vacant

SURROUNDING ZONING/LAND USES:

NORTH: A-1 – Vacant Land / Single-Family Dwelling

SOUTH: A-1 – Vacant Land / Single-Family Dwelling

EAST: A-1 – Vacant Land

WEST: A-1 – Vacant Land

LAND USE PLAN DESIGNATION: Agriculture Limited

SEWER AND WATER CONDITIONS: No water or sewer



Picture of Public Hearing Sign at Entrance



Locked Gate at Entrance of Easement



Moses Mountain Road, facing west



Picture of Easement, facing north

ANALYSIS

Verizon Wireless is requesting a special exception in the A-1 Agricultural Residential District. The purpose of the special exception is to replace an existing 50 foot tall wooden monopole with a 120 foot tall steel pole. The wireless communication facility is located on a ridge that is skylighted and is therefore located in an avoidance area. The parcel is addressed at 369 Moses Mountain Road and is further identified as tax map number 52-A-5.

In March of 2012, the Amherst County Board of Supervisors adopted a revised personal wireless communications ordinance. With the adoption of the revised ordinance, the height of personal wireless communications facilities was amended from a 50' by-right tower height to a 120' by-right tower height. The proposed tower will be the maximum allowable height for a tower that is permitted by-right and will not require a special

exception in regards to the height. Because the tower is located on a ridge where the tower is skylighted, it is considered to be located in an avoidance area. Avoidance areas are defined in Section 919.03 of the Amherst County Zoning Ordinance as: *“those areas identified in the county’s comprehensive plan where the siting of personal wireless service facilities could result in adverse impacts, specifically: (i) any ridge area where a personal wireless service facility would be skylights; (ii) an area within a historic district as defined by the Virginia Department of Historic Resources; (iii) an area within the Blue Ridge Parkway viewshed; or (iv) an area within two hundred (200) feet of any state scenic highway or by-way”*. The Planning Commission and Board of Supervisors should determine whether or not the siting of the personal wireless service facility will cause an adverse impact.

PLAN REQUIREMENT: Section 1003.03, Applications for a zoning permit for a special exception shall be submitted to the zoning administrator, who shall refer the application to the Board of Supervisors for a public hearing. An application shall be accompanied by a site plan as required under Article XI. The Development Review Committee reviewed the site plan on July 10, 2012 and the site plan will be reviewed by the Planning Commission on August 2, 2012.

DETERMINATION OF AVOIDANCE AREA

- 1) **Is the tower located on a ridge where a personal wireless service facility would be skylighted?** The personal wireless service facility is an existing facility with a 50’ tall tower. The proposed 120’ tall tower is located on the ridge of “Turkey Mountain” as identified on a United States Geological Survey Map. The base elevation is 1,228 above mean sea level. According to the applicant, the tower will be skylighted from certain angles.
- 2) **Is the tower located in an area within a historic district as defined by the Virginia Department of Historic Resources?** According to the Virginia Department of Historic Resources website, the tower is not located within a historic district. The applicant will submit a letter that addresses the Department of Historic Resources and confirming that the tower is not located within a historic district.
- 3) **Is the tower located within the Blue Ridge Parkway viewshed?** According to the Amherst County Geographic Information System, the tower will be approximately 15 miles from the Blue Ridge Parkway.
- 4) **Is the tower located in an area within two hundred (200) feet of any state scenic highway or by-way?** No, the tower is not located within two hundred (200) feet of a state scenic highway or by-way.

HISTORY ON SIMILAR USES IN THE A-1 AGRICULTURAL DISTRICT

Since the adoption of the personal wireless communications ordinance in March of 2012, this application represents the first application for a special exception as a result of locating a tower in an avoidance area.

RESULTS OF BALLOON TEST

- 1) Date that County was informed of required balloon test:** July 20, 2012 (VIA EMAIL)
- 2) Public roads where the balloon test is visible from:** Turkey Mountain Road, Patrick Henry Highway and Hartless Road.
- 3) Date, time, location of balloon test:** Monday, August 6, 2012 from 8:30 a.m. – 12:30 p.m.

GOVERNMENTAL ACCESS

The owner of a personal wireless service facility shall provide at no cost to the County the right of first refusal to any available co-location spaces to improve radio and other communication for County departments, authorities, agents, and citizens, and such other persons or entities as the County deems necessary to benefit the public interest. Such space shall include both space on the tower or support structure and ancillary structures, and equipment space in the equipment facility.

AERIAL PHOTOGRAPH: IMAGERY DATE – APRIL 6, 2011



TRAFFIC IMPACT: Access to the property is provided by Moses Mountain Road (Route 614). Moses Mountain Road is considered a non-classified rural road according to the Virginia Department of Transportation (VDOT) standards. Access to the tower from Moses Mountain Road is provided by an easement that traverses through the 157 acre parcel to the leased site.

The Institute of Transportation Engineers does not calculate trip generation rates for wireless communication facilities. Primarily the tower will be accessed for construction purposes and for general maintenance. Wireless Communication facilities are low traffic generators and will on average have much less traffic than a by-right single-family dwelling that generates approximately 10 vehicle trips per day.

REQUIREMENTS OF A SPECIAL EXCEPTION

- Will be harmonious with and in accordance with the general objectives, or with any specific objective of the county's comprehensive plan and/or this article;
- Will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area;
- Will not be hazardous or disturbing to existing or future neighboring uses;
- Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structure, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services;
- Will not create excessive additional requirements at public costs for public facilities and services and will not be detrimental to the economic welfare of the community;
- Will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, odors, or water pollution;
- Will have vehicular approaches to the property which shall be so designed as not to create any interference with traffic on surrounding public streets or roads; and
- Will not result in the destruction, loss or damage of a natural scenic or historic feature of major importance.

SUMMARY OF COMPREHENSIVE PLAN

- Public Safety (Goal #1) - Ensure continuous improvement in the delivery of 911 communications to the community and public safety agencies.
- Public Safety (Objective #1) - Assess the status of the communications system and personnel to promote an effective network for receiving calls for assistance (emergency and non-emergency) and for dispatching the appropriate resources through a reliable radio system.
- Public Safety (Strategy) - Acquire and maintain appropriate resources to effectively maintain the communications network (staff and equipment).
- Public Safety (Strategy) - Utilize advances in technology to meet and improve response times.
- Economic Development (Objective #1) - Provide a solid structural foundation through updated technology systems and improved and expanded utilities to support new businesses.
- Economic Development (Strategy) - Work to expand, develop, and/or maintain community assets that will attract businesses and employees to the County (County water and sewer to industrial parks and other commercial designated growth areas; electricity and other utilities, information technology upgrades to keep pace with industry, high-speed internet access).

- Economic Development (Goal #3) - Develop and maintain a community infrastructure that meets the current and future needs of the County.
- Information Technology (Goal #1) - Continue to improve the County's information technology infrastructure to deliver state-of-the-practice services within and outside the County to current residents, prospective residents, and business/industry.
- Land Use Plan (Goal #5) - To protect our scenic view sheds.
- Land Use Plan (Objective) - Encourage the protection of steep slopes and ridgelines.
- Land Use – The proposed special exception is located in an area that is identified as Agricultural Limited according to the Future Land Use Map 2007-2027.

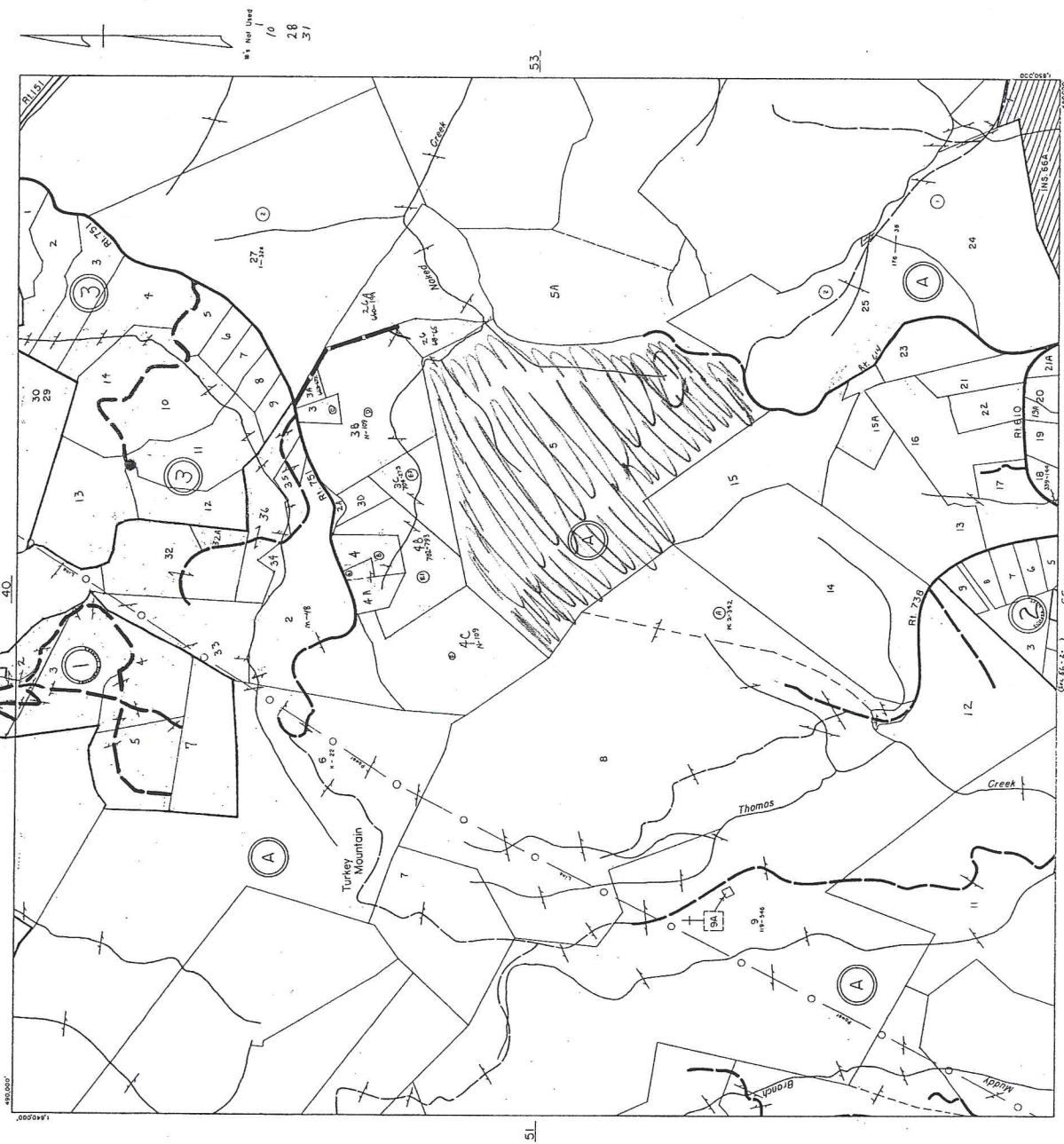
LAND USE IMPACT/CONCERNS/NOTABLES

- As part of the Middle Class Tax Relief and Job Creation Act of 2012, state and local governments are required to approve any “modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base,” including collocation, removal, and replacement applications. However, this Act will not apply to this request since the physical dimensions of the tower are being altered.
- The property is located on Turkey Mountain, and will be skylighted. The ground elevation of the tower site is 1,228 feet above sea level.
- The tower is mostly surrounded by forest, with the exception of the access road to the tower.
- According to the Amherst County Geographic Information System, the nearest dwelling is to the north on Hartless Road, and is approximately 2,300 feet away from the tower.
- An existing 50 foot tall tower occupies the property, no other structural improvements are located on the parcel.
- The ingress/egress easement is within the 157 acre parcel and connects to Moses Mountain Road.
- Timeframe: Date submitted 6/22/12 / The County shall act on all other applications within 150 days of receipt of the application. / Deadline for a decision from the Board of Supervisors is November 18, 2012.
- The ordinance requires that the facility shall be landscaped with a buffer of plant material that effectively screens the view of the equipment compound from adjacent property, including public roads, except that the Zoning Administrator or Board of Supervisors may establish different requirements based on unique site characteristics.
- The County requires that a balloon test to be conducted for all special exception applications.
- The County may require the applicant to pay for a technical review of any by-right or special exception application by a third party expert selected by the County (Section 919.08 (D)).

STAFF RECOMMENDED CONDITIONS:

- 1) Landscaping: The Zoning Administrator or Board of Supervisors may establish different requirements for landscaping based on unique site characteristics. Because the site is surrounded by existing hardwood trees, staff does not see any need for additional landscaping.
- 2) Governmental Access: Prior to the issuance of a zoning permit, the Director of Public Safety shall determine if the County needs space to co-locate in accordance with Section 919.09.

AMHERST COUNTY



REVISED: 12/31/98

TEMPERANCE DISTRICT

SECTION 52

PROPERTY TO BE SHOWN WITHIN SECTION 52

July 17, 2012

The County of Amherst, Planning & Zoning
c/o Mr. Jeremy Bryant, Director
Administration Building
P.O. Box 390
153 Washington St.
Amherst, VA 24521
jsbryant@countyofamherst.com

Subject: Invitation to Comment
12027 / North Amherst
369 Moses Mountain Road, Amherst, Amherst County, Virginia
EBI Project #61123813

Dear Mr. Bryant:

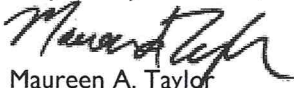
Pursuant to Section 106 of the National Historic Preservation Act, the regulations promulgated thereunder and interagency agreements developed thereto, EBI Consulting, Inc. on behalf of Cellco Partnership and its controlled affiliates doing business as Verizon Wireless (Verizon Wireless) provides this notice of a proposed telecommunications facility installation at the address listed above.

EBI would like to inquire if you would be interested in commenting on this proposed project. Verizon Wireless proposes to remove the existing 60-foot monopole and replace it with a 120-foot monopole (overall height 124 feet) within the existing 50 x 60-foot lease area. Please refer to the attached project plans for complete details regarding this proposed project.

Please note that we are requesting your review of the attached information as part of the Section 106 process only and not as part of the local zoning process. We are only seeking comments related to the proposed project's potential effect to historic properties.

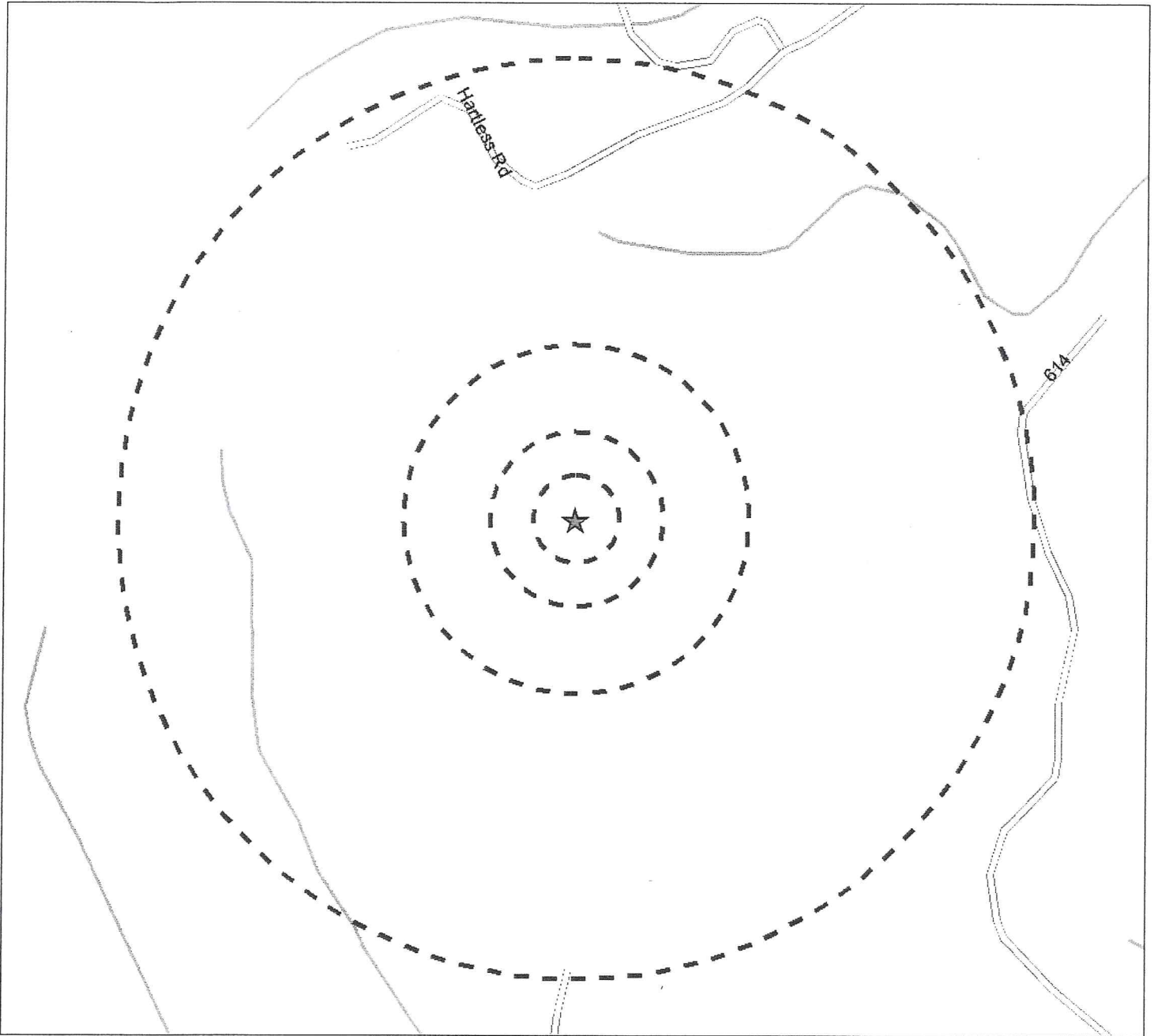
Please submit your comments regarding the proposed project's potential effect on historic properties to EBI Consulting, to my attention at 6876 Susquehanna Trail South, York, PA 17503 or contact me via telephone at the number listed below. Please reference the EBI project number. We would appreciate your comments as soon as possible within the next 30 days. Please do not hesitate to contact me if you have any questions or concerns about the proposed project.

Respectfully Submitted,



Maureen A. Taylor
Architectural Historian
781-418-2325
mtaylor@ebiconsulting.com

Attachments - Figures, Drawings



Legend

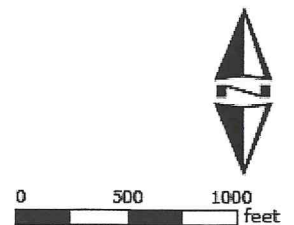
- ★ Project Site
- Site Buffer at 250', 500', 1000' and 1/2 mile

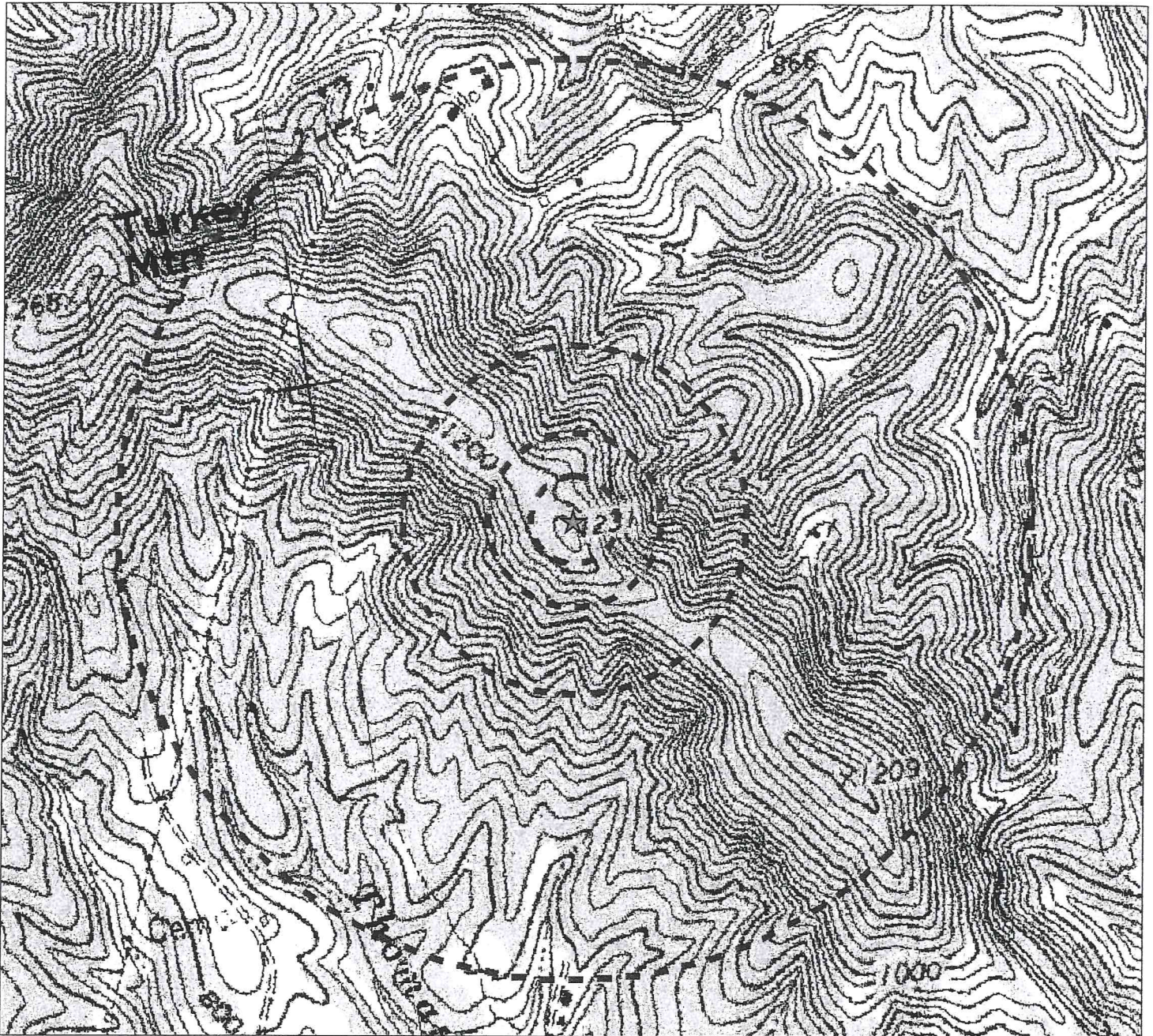
Source: Selected data from ESRI, EBI and NWI

Figure 1 - Site Location Map

12027/North Amherst
369 Moses Mountain Road
Amherst, VA 24521

PN: 61123813





Legend

- ★ Project Site
- ▭ Site Buffer at 250', 500', 1000' and 1/2 mile

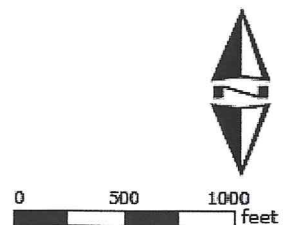
USGS 24k Quad: Piney River, VA 1985

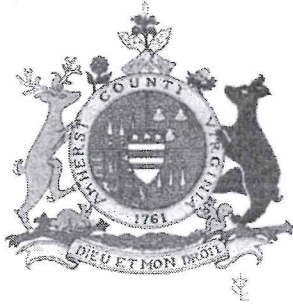
Source: Selected data from ESRI, EBI and USGS

Figure 2 - USGS Quad Location Map

12027/North Amherst
369 Moses Mountain Road
Amherst, VA 24521

PN: 61123813





RECEIVED
JUN 7 2012
AMHERST COUNTY
PLANNING & ZONING

Procedures Special Exception

WHAT IS A SPECIAL EXCEPTION?

A special exception is a use of the land which may be allowed in a zoning district in which the land is situated subject to the approval of either the board of supervisors or the board of appeals, after a public hearing.

HOW IS THE DECISION MADE?

A special exception decision involves one public hearing – however, both the Planning Commission and the Board of Supervisors vote on the issue. The Planning Commission hears the issue and votes on a recommendation to the Board of Supervisors. The Board of Supervisors then makes a final decision.

Applications for a zoning permit for a special exception shall be submitted to the zoning administrator, who shall refer the application to the board of supervisors for a public hearing.

HOW LONG DOES IT TAKE?

The process takes approximately 8-10 weeks once an application is filed. However the Planning Commission and Board of Supervisors can delay the process if desired.

HOW MUCH WILL IT COST?

A special exception requires a public hearing; all public hearings are subject to a \$300 dollar fee. Site plans are also required as part of a special exception, site plans may be required to be reviewed by the Development Review Committee (DRC) and the Planning Commission. The site plan review fee is \$200 dollars.

WHAT IS THE PROCESS?

The process for a special exception is as follows.

1. Pre-application conference with Planning Department;
2. Completing and filing the application;
3. Completely fill out a zoning permit;
4. Staff review and public notice; and
5. Planning Commission/Board of Supervisors public hearing.

PURPOSE

It is the purpose of the special exception to provide a flexible and adaptable zoning method to cope with situations whereby a more intense use may be allowed subject to certain conditions set by the board of supervisors.

PRE-APPLICATION CONFERENCE

Applicants must schedule a pre-application conference with the staff prior to submittal of the special exception application package. *Staff may reject any application without a pre-application conference.* Please schedule a conference with staff by calling (434) 946-9303. Staff will review submitted applications to ensure all required materials and information is provided. If the application is not complete, the required information must be provided prior to formal staff review and acceptance of the application.

Applicants are strongly encouraged to discuss the proposed special exception with neighboring properties prior to filing an application.

APPLICATION REQUIREMENTS

A special exception application consists of four parts:

1. Application form;
 2. Requirements of a special exception;
 3. Site plan; and
 4. Zoning Permit.
1. **Special Exception Application Form:** The application is available in the Planning Department and may also be found on the department's website at www.countyofamherst.com. It must be signed by all owners of the property. If a legal representative signs for a property owner, a copy of the executed power of attorney is required.
 2. **Requirements of a Special Exception:** In addition to the specific requirements for special exception as specified in this article, the board of supervisors shall review the particular facts and circumstances of each proposed use in terms of the following standards and shall find adequate evidence showing that such use at the proposed location:
 - a. Will be harmonious with and in accordance with the general objectives, or with any specific objective of the county's comprehensive plan and/or this article;
 - b. Will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area;
 - c. Will not be hazardous or disturbing to existing or future neighboring uses;
 - d. Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structure, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services;
 - e. Will not create excessive additional requirements at public costs for public facilities and services and will not be detrimental to the economic welfare of the community;
 - f. Will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or

- the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, odors, or water pollution;
- g. Will have vehicular approaches to the property which shall be so designed as not to create any interference with traffic on surrounding public streets or roads; and
 - h. Will not result in the destruction, loss or damage of a natural scenic or historic feature of major importance.
3. **Site Plan:** An acceptable site plan is required per Section XI Site Plan Review Requirements of the Amherst County Code.
4. **Zoning Permit:** A zoning permit must be filled out concurrently with the special exception request.

POST FILING INFORMATION

1. **Staff Review and Public Notices:** Once staff has accepted the complete application and filing fees have been paid, adjoining property owners are notified that a special exception request has been filed and of the time and date of the public hearing. Notice of public hearing is published as a legal advertisement, and the subject property is posted with a notice for a zoning hearing. Staff prepares a staff report and recommendations for the Planning Commission and Board of Supervisors consideration and staff reports are available to the petitioner and interested citizen on the previous Planning Commission meeting.
2. **Public Hearing:** At the public hearing, the staff presents the report and recommendation, the applicant also presents the request. The Commission takes public comment and the Commission discusses the request and makes a recommendation to the Board of Supervisors.

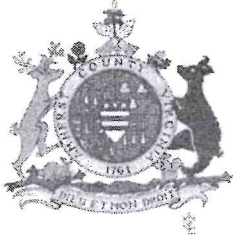
The Board of Supervisors considers a request that has been heard by the Planning Commission. The Board of Supervisors approves, denies, continues or refers the matter back to the Commission.

FILING/FEEES/DEADLINES

Special exception applications, and accompanying fees, are filed with the:

Department of Planning
P.O. Box 390
Amherst, VA. 24521
(434)946-9303

Public hearing fees are \$300 dollars, paid with filing of application.



**APPLICATION FOR A ZONING PERMIT /
SPECIAL EXCEPTION
Amherst County, Virginia**

The undersigned applicant wishes to petition Amherst County for an amendment, supplement, or change in the district boundaries or zoning classification on the Official Zoning Map. Please refer to Section 1004 of the zoning ordinance regarding changes to the Official Zoning Map. Please call the Department of Planning and Zoning at 434-946-9303 if you have any questions regarding the County zoning map or zoning ordinance.

Applicant / Property Owner Information

Verizon Wireless - C/O Stephen Waller, AICP
Applicant Name

535 Pantops Center - PMB# 405 Charlottesville Virginia 22911
Applicant Address City/Town State Zip Code

434-825-0617 757-282-5811 stephen.waller@gdnsites.com
Applicant phone number Applicant fax number Applicant E-Mail

You are the () property owner; agent for the property owner.

If you are the agent for the property owner, do you have consent of the owner attached? Please circle one: Yes/No

Verizon Wireless - C/O Marshall Pearsall (leasehold interest for tower and compound)
Property Owner Name

1831 Rady Court Richmond Virginia 23222
Property Owner Mailing Address City/Town State Zip Code

Property owner telephone number Property owner fax number Property owner E-Mail

Location of Property
369 Moses Mountain Road 52 - A - 5
Street Address Tax parcel ID number

General Description of Property
Personal Wireless Service Facility within a 50' x 60' leased area, on a heavily wooded parcel containing 157 acres.

Current Use(s) of Property
Personal Wireless Services Facility located within a fenced compound with a 50' tall wooden monopole and supporting ground equipment.

Proposed Use(s) of Property

No change in use. Replacing existing 50' wooden monopole with a 120' tall steel pole.

Total Acreage: 157

Check all categories that apply for the parcels requesting to be heard for special exception:

Public water Private wells
Public sewer On-site septic systems Mass drainfield(s)

Comprehensive Plan Land Use Designation: Agricultural/Forest

Current Zoning:

(please circle one)

P-1 **A-1** R-1 R-2 R-3 V-1 B-2 M-1 FH Other

Requested Special Exception Code Section:

VDOT Review: Will the proposed development require Chapter 527 review? YES NO

Petitioner Comments (Continue on separate sheets if necessary.)

How will the proposed special exception affect adjacent property?

Although the proposed replacement tower will be located in the ridge area of Turkey Mountain, its lower portions and all ground equipment will be screen from outside views by vegetation that surrounds the site.

The facility will also be set back 100% of its height from all adjacent property lines.

How will the proposed special exception affect the character of the district(s) surrounding the property?

Although the replacement tower proposed for this facility will be skylighted from certain angles, only its tallest portions will be visible throughout the district surrounding this site. This is because the property and much of the surround properties are heavily wooded.

How is the use in harmony with the purpose and intent of the Zoning Ordinance?

Facilitate the creation of a convenient, attractive and harmonious community; the provisions of adequate police and fire protection, disaster evacuation, civil defense; encourage economic development activities'

All of these and more can be facilitated through greater access to wireless communications services.

How is the use in harmony with the uses permitted by right in the district?

120' tall monopole towers are allowed by-right in all other areas of the A-1 zoning district. The special

exception approval is only required because this facility is located within a ridge area.

How will the use promote the public health, safety, and general welfare of the community?
The proposed replacement of the existing monopole with a taller one will allow Verizon Wireless' services

to provide coverage in a larger area without concerns for signal blockage from the surrounding trees. This

proposal proposal will also support the expanded range of services as detailed in the attached narrative.

Has the Planning Commission and/or Board of Supervisors heard a request for special exception of this property within twelve (12) months of the date of this application? Yes/No

Proffers and Conditions

List any conditions or proffers currently associated with this property.

None identified.

Expiration

Any zoning permit shall automatically expire twelve (12) months from the date of issuance if the persons, firm, or corporation to which the permit was issued has not clearly demonstrated that the permit is being exercised for the purpose for which it was issued, or if the work so authorized is suspended or discontinued for a period of twelve (12) months.

Application fee and other requirements

A \$300.00 application fee must be paid to the County of Amherst upon submission of this application for the cost of advertising and for expenses of notifying the adjacent property owners and incidental to reviewing, publishing, and processing the application.

A survey plat of the property by a certified land surveyor must accompany this application. The scale must be 1"=100'.

Zoning Permit

Has a zoning permit been filled out and attached with this application? Yes No

Signatures

The undersigned Applicant hereby affirms that all information contained herein is accurate to the best of his/her knowledge and confirms that he/she has read the Application and its Instructions and has paid all fees currently due and is aware of costs which may be assessed to Applicant related to this Application process. The undersigned Applicant (and Landowner, if applicable) also authorizes entry onto the subject property by the Zoning Administrator, Planning Director and/or Board of Zoning Appeals and/or Board of Supervisors during the normal discharge of their duties regarding the above Applicant.

Property Owner Signature Date

Property Owner Signature Date

Steph Wall
Agent Signature

6/22/12
Date

Agent Signature

Date

*****DO NOT WRITE BELOW THIS LINE - OFFICE USE ONLY*****

For use by the County of Amherst Department of Planning and Zoning

Case No. 2012-14

Actions Taken:

Journey Bryant (SS)
County Official Receiving Application

6/22/12
Date

Stacey Steinert
Public Hearing fee received by

6/22/12
Date

Application returned for correction/additional information

Date

Amended application received by

New Era Progress
Public Hearing advertised in

Date 8/9/12
8/16/12
Date(s)

Adjacent property owner(s) notified by mail

Date

Action by Planning Commission

Date

Action by Board of Supervisors

Date

ZONING PUBLIC NOTIFICATION

Case: 2012-14

Location: 369 Moses Mtn Rd. Amherst VA 24521

Board/Commission:

Planning Commission
Board of Supervisors

Public Hearing Dates:

Planning Commission 8/16/12
Board of Supervisors 8/21/12

Applicant:

Verizon Wireless
c/o Stephen Waller
535 Pantops Center PMB 405
Charlottesville, VA 22911

Property Owner

Verizon Wireless
c/o Marshall Pearsall
1831 Rady Court
Richmond, VA 23222

Tax Map Number:

52-A-5

Adjoining Property Owners:

Tax Map # 52-A-4	Tax Map # 52-A-5A	Tax map # 52-A-15
Campbell, Vickie & Michael	Matilda Christian	Reddy Investments
545 Hartless Rd	c/o William Christian	3020 Rivermont Ave
Amherst, VA 24521	1230 Solita Rd	Lynchburg VA 24503
	Pasadena, CA 91103	
Tax Map # 52-A-3B,3C		Tax map# 52-A-8
52-A-26, 54-A-4B, 4C	Tax Map# 52-A-25	Barbara Ramsey
Pamela & Carl Grant	Charlie Pribble	POB 52
403 Hartless Rd	c/o L E Pribble	Amherst, VA 24521
Amherst, VA 24521	2127 Burnt Bridge Rd	
	Lynchburg, VA 24503	Tax Map# 52-A-14
Tax Map # 52-A-26A		Leif Jr & Teresa Aagaard
Angela & James Lloyd		202 Walnut Hill Rd
407 Hartless Rd		Amherst, VA 24521
Amherst, VA 24521		

I hereby make affidavit that the notices of public hearing for this case as required by Section 15.2-2204 of the Code of Virginia, 1950, as amending, have been sent by first class mail to the last known address of the owners of abutting property as shown on the current real estate tax assessment books.

Stacey Sturmet
Administrative Assistant
7/30/12

(Signature)

(Title)

(Date)



VIA EMAIL

July 20, 2012

Re: Balloon Test for Verizon Wireless Personal Wireless Communications Facility (PWSF)

Dear Jeremy:

This firm represents Verizon Wireless, which recently submitted an application to the Amherst County Department of Planning and Zoning for a special use permit to construct a new 120' steel monopole and related equipment within an existing PWSF compound at **369 Moses Mountain Road, Amherst**. The new monopole, which would replace an existing 50' monopole, is part of a project to improve and expand Verizon Wireless' network in Amherst County and to upgrade existing services by adding fourth generation ("4G") service. The tower replacement will expand in-building coverage to the northern part of Amherst County and provide more reliable in-car coverage along nearby roads, such as State Routes 151 (Patrick Henry Hwy.), 610 (Turkey Mountain Rd.), 614 (Moses Mountain Rd.), 611 (Roses Mill Rd.), 662 (Gettes Mountain Rd.), U.S. Route 29.

The facility compound is located on the southern slope of Turkey Mountain in the eastern corner of Tax Map parcel 52-A-5, owned by Barbara G. Ramsey. The subject parcel, which contains 157 acres, is accessed by a gravel driveway from State Route 614 (Moses Mountain Rd.). A sign will be posted at the entrance to the driveway.

You are invited to a balloon test, to be conducted pursuant to Section 919.07.A.4 of the County Zoning Ordinance, at the following time:

Balloon test date: Monday, August 6, 2012, 8:30 a.m. - 12:30 p.m.

Alternate (rain/wind) date: Wednesday, August 8, 2012, 8:30 a.m. - 12:30 p.m.

The balloon will be up four (4) hours; you may visit or drive by the site any time during that period. The balloon will be raised to 120', the height of the proposed monopole, so that we may analyze the visual effect of the monopole from surrounding roadways and properties. Photographs will be taken from the nearest residence and from locations along public roads from which the balloon is visible and other locations deemed appropriate by the Planning and Zoning Director.

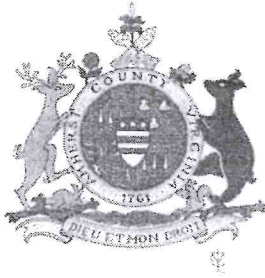
If you have any questions about the balloon test or about the application in general, please feel free to call me at the numbers below.

Very truly yours,

Lori H. Schweller

E-mail: LSchweller@leclairryan.com
Direct Phone: 434.245.3448
Direct Fax: 434.296.0905

123 East Main Street, Eighth Floor
Charlottesville, Virginia 22902
Phone: 434.245.3444 \ Fax: 434.296.0905



Application for Zoning Permit
Amherst County, Virginia

Paid

Section A (Please print in blue or black ink)

Permit No: _____

Verizon Wireless - C/O Stephen Waller			
Last (Name of Applicant)	First	MI	
536 Pantops Center - PMB 405,	Charlottesville	VA	22911
Mailing Address	City	State	Zip Code
369 Moses Mountain Road	Amherst	VA	24521
Property Address	City	State	Zip Code
			(434)825-0617
Telephone Number (s)	Home	Business	
Verizon Wireless (leasehold for tower compound) / Michael and Barbara Ramsey (property owners)			
Last (Name of Property Owner, if different)	First	MI	

Is the lot recorded? Yes No

If yes, complete section B

Section B (Please fill out as completely as possible)

Date lot recorded (if applicable) _____	Date lot surveyed (if applicable) _____
Name of subdivision _____	Tax Map # <u>67A-52</u> <u>52-A-5</u>
Deed Book/Page No. <u>807 / 126</u>	
Lot area: <u>3000</u> s.f. _____ acres.	
Lot width: <u>50' x 60'</u> ft. Lease Area	
The lot is served by (check all that applies):	Public water: <u>N/A</u> Public sewer: <u>N/A</u> Private well: <u>N/A</u> Septic system: <u>N/A</u>
Is the lot a corner lot? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
Does the lot have frontage on more than one street (i.e. double frontage)? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
Does the owner of the property own any adjacent lots? <u>No</u>	
<i>(If so, please include the locations and dimensions of adjacent lots on attached sketch)</i>	
Is the parcel of land located in a flood district? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> If so, what flood district? _____	
The erection, modification, replacement of a sign or sign structure requires approval of a sign permit.	

Directions to project site (from Amherst County Administration Building):

Take U.S. 29 north 3-1/2 miles to left on State Route 151. In approximately 1-3/4 mile turn left onto Turkey Mountain Road, then right onto Moses Mountain Road and left onto gravel road to site.

Section C (Please fill in the blanks where applicable)

For construction of a new building (including accessory buildings and building additions):

Type of building: Outdoor equipment cabinets Existing floor area: 3,000 sq. ft.

Proposed floor area: no change sq. ft. Number of dwelling units proposed: N/A

Number of stories: 120' (tower) Height of structure (from finished grade): 120 (antennas) ft.

Area of land disturbance: none new sq. ft. (Estimate the total area of all clearing, grading, excavating, transporting, and filling activities on the site. Include proposed septic drainfield areas.)

Will the driveway exit on a private or public road? Private Road Public Road X (Existing driveway)

If the driveway exits on a public road, provide the VDOT entrance permit number: N/A (existing)

For a change in use to an existing structure or property:

Current use: Personal Wireless Service Proposed use: Communications Tower (replacement)


Provide details about type of business, machinery and equipment involved, hours of operation, no. of employees, etc. Attach separate sheet, if necessary: Unmanned site requiring once a month visits for maintenance and possible additional visits at times when services is interrupted due to weather.

Attach a site plan, survey plat, or sketch showing the following:
(Note: construction of a primary building on any site will require a survey performed by a licensed professional)

- I. The dimensions and shape of parcel(s) to be built upon including the location of existing public and private streets.
- II. The location and dimensions of existing primary and accessory buildings.
- III. The location and dimensions of proposed structures, accessory buildings, or additions/enlargements*
- IV. Proposed front, rear, and side yard set back lines for all existing and proposed buildings or additions.

** Where applicable, applicants will need to show the location of (1) existing public water and sewer facilities, including the point of connection to those facilities, or (2) proposed well and septic facilities including primary and reserve drainfield areas.*

I hereby certify that the foregoing information and attachments are true and accurate to the best of my knowledge.


Applicant's Signature

June 25, 2012
Date

*Any zoning permit shall automatically expire twelve (12) months from the date of issuance if the persons, firm, or corporation to which the permit was issued has not clearly demonstrated that the permit is being exercised for the purpose for which it was issued, or if the work so authorized is suspended or discontinued for a period of twelve (12) months.

DO NOT WRITE IN THIS SPACE - OFFICE USE ONLY

ZONING DISTRICT _____ REQUIRED YARDS: FRONT _____ SIDE _____ REAR _____

CONFORMING:	LOT(S)	YES	NO
	EXISTING BUILDING:	YES	NO
	PROPOSED BUILDING:	YES	NO
	EXISTING USE:	YES	NO
	PROPOSED USE:	YES	NO

Is proposed development located within the WS District? _____ Does the project require a LDA permit? _____

COMMENTS _____

APPROVED/DENIED BY ZONING ADMINISTRATOR _____

SIGNATURE

DATE

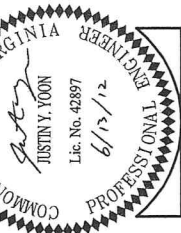
Verizon 304 118202-212624 2012-14



1331 L STREET NW
SUITE 600
WASHINGTON, DC 20005
202-461-3260 FAX: 202-461-9246
WWW.CLARKNEXSEN.COM



1831 ROBY COURT
RICHMOND, VA 23222



SITE NO.
NORTH AMHERST
LTE (4G)
UPGRADE AND
GENERATOR
ADDITION

369 MOSES MOUNTAIN
ROAD
AMHERST, VA
24521

AMHERST COUNTY

DESIGN:	CCY
DRAWN:	KAW
REVIEW:	JTY
DATE:	5/26/11
COMPL. NO.:	3036.HIG
SUBMITTALS	
DATE:	
PRELIMINARY CONSTRUCTION DRAWINGS:	6/17/11
FINAL CONSTRUCTION DRAWINGS:	5/16/12
REVISED TO INCLUDE MONOPOLE:	04/12/12
REVISED PER REGULATORY COMMENTS:	05/15/12
FINAL CONSTRUCTION DRAWINGS:	05/12/12

SHEET NAME
COVER SHEET

SHEET NO.
G-1

NORTH AMHERST

CHANDLER PROPERTY

369 MOSES MOUNTAIN ROAD

AMHERST, VA 24521

PROJECT DESCRIPTION
DROP & SWAP FOR LTE (4G) UPGRADE AND
GENERATOR FOR EMERGENCY SERVICE

UTILITIES:
POWER COMPANY: AEP
(800) 255-3443
TELEPHONE COMPANY: VERIZON
(800) 375-7177

ADA COMPLIANCE:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.
SITE WILL NOT BE SERVED BY CITY SEWER OR WATER.

9 HOURS A DAY BEFORE YOU DIG
TOLL FREE
MISS UTILITY

EMERGENCY INFORMATION:
LOCAL FIRE AND EMERGENCY SERVICES
(434) 946-9400
LOCAL EMERGENCY POLICE DISPATCH
(434) 946-9300

APPROVAL	SIGNATURE	PHONE NUMBER	DATE
ACQUISITION MANAGER			
CONSTRUCTION MANAGER			
BY ENGINEERING			
NETWORK OPT. MANAGER			

REV. NO.	DESCRIPTION	BY	DATE	REV. NO.	DESCRIPTION	BY	DATE
1	PRELIMINARY CONSTRUCTION DRAWINGS	SPP	06/17/11	5	FINAL CONSTRUCTION DRAWINGS	JTY	06/12/11
2	FINAL CONSTRUCTION DRAWINGS	JTY	03/16/12				
3	REVISED TO INCLUDE MONOPOLE	JTY	04/12/12				
4	REVISED PER REGULATORY COMMENTS	JTY	05/15/12				

CONSULTING TEAM

ARCHITECTURE AND ENGINEERING:
CLARK NEXSEN
1331 L STREET NW, SUITE 600
WASHINGTON, DC 20005
PROJECT MANAGER:
STUART PATTERSON, PE
(202) 461-3287
FAX NUMBER:
(202) 461-3286

ELECTRICAL ENGINEER:
CLARK NEXSEN
1111 E. MAIN STREET, SUITE 1905
RICHMOND, VA 23219
PROJECT MANAGER:
HAROLD BELVEIL, PE
(804) 644-4680
FAX NUMBER:
(804) 644-4683

SOIL ENGINEER:
GEOENVIRONMENTAL RESOURCES, INC.
2712 SOUTHERN BOULEVARD, SUITE 101
VIRGINIA BEACH, VA 23452
TELEPHONE:
CHAZ CRAWLEY, PE
(757) 483-3000
FAX NUMBER:
(757) 483-3080

PROJECT DATA:
TAX MAP #:
ACREAGE:
JURISDICTION:
EXISTING TOWER TYPE:
EXISTING TOWER HEIGHT:
EXISTING LEASE AREA:
AREA OF LAND DISTURBANCE:
52 A ±
157 ACRES
AMHERST COUNTY
TOWER REPLACEMENT
120'
3000 SF
580 SF

SECURAGE COORDINATES:
NAD 83
79° 02' 10.92" W
37° 39' 51.16" N
12287 ± ANSL
NAD 83
79° 02' 10.92" W
37° 39' 51.16" N
12287 ± ANSL

INDEX OF DRAWINGS

Sheet Number	Sheet Title
GENERAL	COVER SHEET
C-1	CIVIL
C-1A	SITE PLAN
C-2	OVERALL SITE PLAN
C-2	ENLARGED SITE PLAN
C-3	ELEVATION VIEW
C-4	DETAILS
ELECTRICAL	
E-1	ELECTRICAL SITE PLAN
E-2	ELECTRICAL DETAILS
E-3	ELECTRICAL DETAILS

PROJECT SUMMARY

PROPERTY OWNER:
BARBARA G. RAMSAY
369 MOSES MOUNTAIN ROAD
AMHERST, VA 24521

OWNER:
VERIZON WIRELESS
1831 ROBY CT
RICHMOND, VA 23222

APPLICANT INFORMATION:
PROJECT NO.:
1831 MOSES MOUNTAIN RD
RICHMOND, VA 24521
CONTACT:
DAVE WAUSWORTH
(804) 514-4567
FAX NUMBER:
(804) 321-0398

APPROVAL BLOCK

ZONING APPROVAL BLOCK

ZONING ADMINISTRATOR

SIGNATURE _____ DATE _____

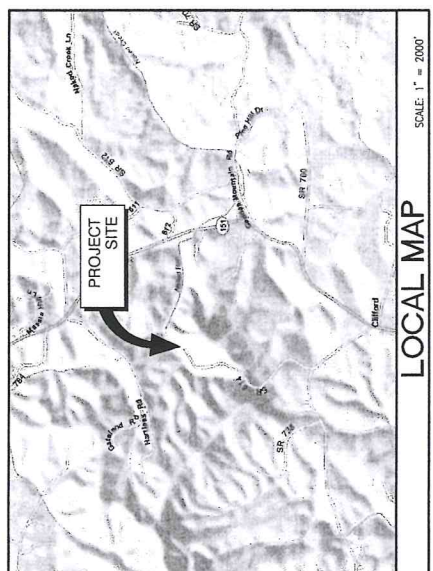
VIRGINIA DEPARTMENT OF TRANSPORTATION

HEALTH DEPARTMENT

SIGNATURE _____ DATE _____

AMHERST COUNTY SERVICE AUTHORITY

SIGNATURE _____ DATE _____



DIRECTIONS TO SITE:
FROM RICHMOND: TAKE US-60 W. TURN RIGHT ONTO US-29/N/VA AMHERST HWY TOWARD CHARLOTTESVILLE. TURN LEFT ON VA-151W/PATRICK HENRY HWY. SLIGHT LEFT ONTO STATE ROUTE 610/TURKEY MOUNTAIN ROAD. SLIGHT RIGHT ONTO STATE ROUTE 614.



SHEET TOTAL: 9

CLARK NEXSEN
 Architecture & Engineering
 1331 L STREET, NW
 WASHINGTON, DC 20004
 202-462-7200 FAX: 202-462-7206
 WWW.CLARKNEXSEN.COM

verizon wireless
 1831 RODY COURT
 RICHMOND, VA 23222

COMMONWEALTH OF VIRGINIA
 JUSTIN Y. YOON
 Lic. No. 42897
 6/13/12
 PROFESSIONAL ENGINEER

PROJECT:
**NORTH AMHERST
 LTE (4G)
 UPGRADE AND
 GENERATOR
 ADDITION**

369 MOSES MOUNTAIN
 ROAD
 AMHERST, VA
 24521

AMHERST COUNTY
 DESIGN: CCY
 DRAWN: KAW
 REVIEW: SRP
 TTY/DATE: 5/26/11
 COMM. NO.: 30363.II.G

SY#	DESCRIPTION	DATE
1	PRELIMINARY CONSTRUCTION DRAWINGS	6/7/11
2	FINAL CONSTRUCTION DRAWINGS	5/18/12
3	REVISED TO INCLUDE MONOPOLE	6/17/12
4	REVISED FOR REGULATORY COMMENTS	05/15/12
5	FINAL CONSTRUCTION DRAWINGS	06/17/12

SHEET NAME
SITE PLAN

SHEET NO.
C-1

SURVEY NOTES

1. THIS SURVEY IS BEING SHOWN AS A REFERENCE ONLY. THIS SURVEY HAS NOT BEEN FIELD LOCATED OR VERIFIED. THIS SURVEY IS BASED ON PREVIOUS SURVEY BY FINN ENGINEERING & LAND SURVEYING, L.L.C., DATED 7/10/11 AND J.K. THIMONS & ASSOCIATES, P.C., JOB #5301-03, DATED 2/7/10/5.

LEASE NOTES

1. APPROXIMATE LOCATION OF EXISTING VERIZON WIRELESS 20' ACCESS/UTILITY EASEMENT

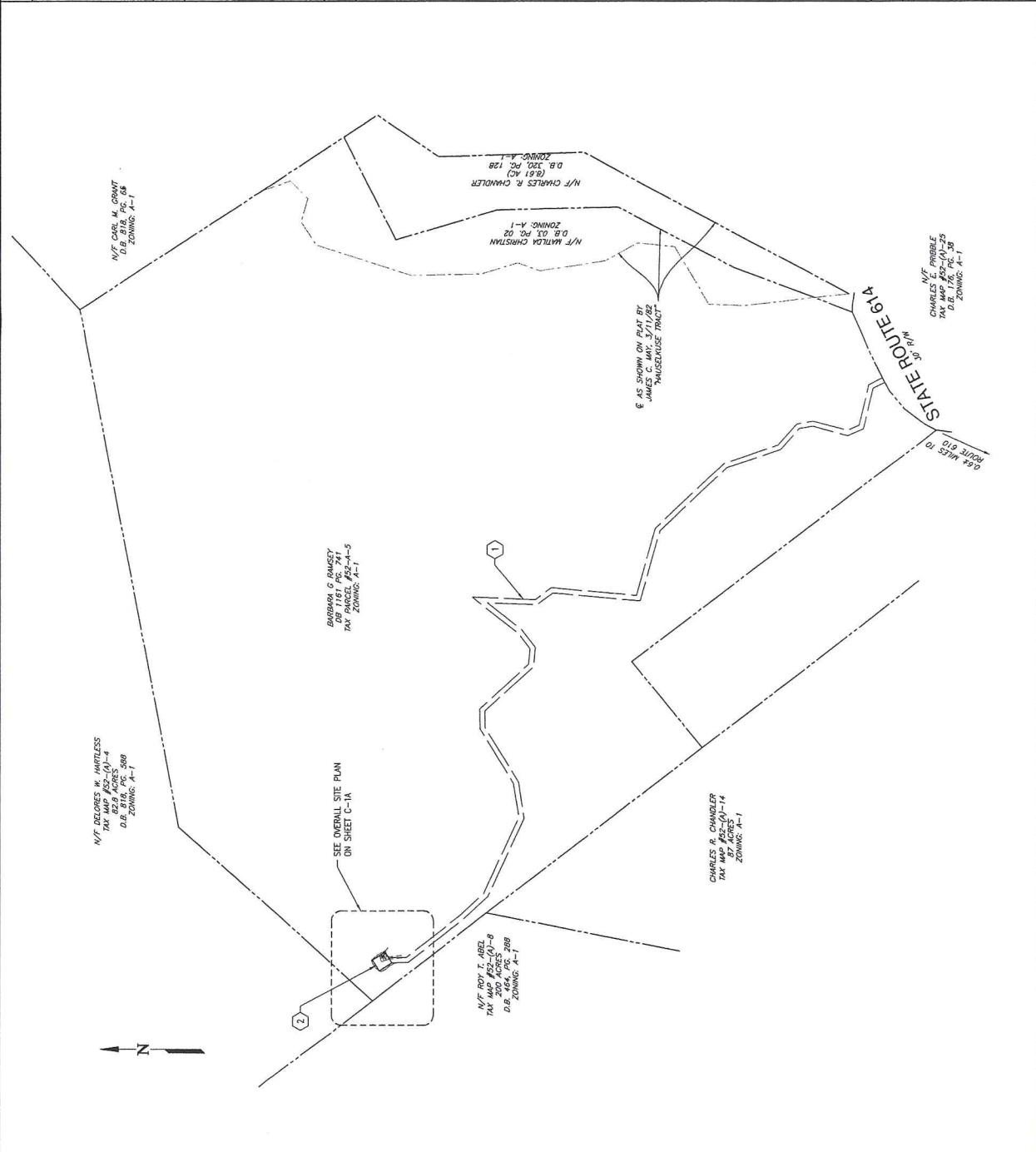
2. APPROXIMATE LOCATION OF EXISTING VERIZON WIRELESS 50' X 60' LEASE AREA

CONSTRUCTION NOTES

	CONCRETE
	PROPERTY LINE
	LEASE AREA
	EASEMENT
	BUILDING (FOOTPRINT)
	FENCE
	TREELINE
	EDGE OF PAVEMENT
	EDGE OF GRAVEL
	OVERHEAD ELECTRIC CONTOURS
	MONOPOLE
	POWER POLE

GRAPHIC SCALE(S)

FOR 9" X 36" PLOT - 1" = 200' 0" 100' 200' 400'
 FOR 11" X 17" PLOT - 1" = 400'



CLARK NEXSEN
 Architecture & Engineering
 1331 L STREET, NW
 SUITE 600
 WASHINGTON, DC 20005
 202-461-3326 FAX 202-461-3366
 WWW.CLARKNEXSEN.COM

verizon wireless
 1831 RUBY COURT
 RICHMOND, VA 23222

COMMONWEALTH OF VIRGINIA
 JUSTIN Y. YOON
 Lic. No. 422897
 6/12/12
 PROFESSIONAL ENGINEER

SITE INFO:
 NORTH AMHERST
 LTE (4G)
 UPGRADE AND
 GENERATOR
 ADDITION

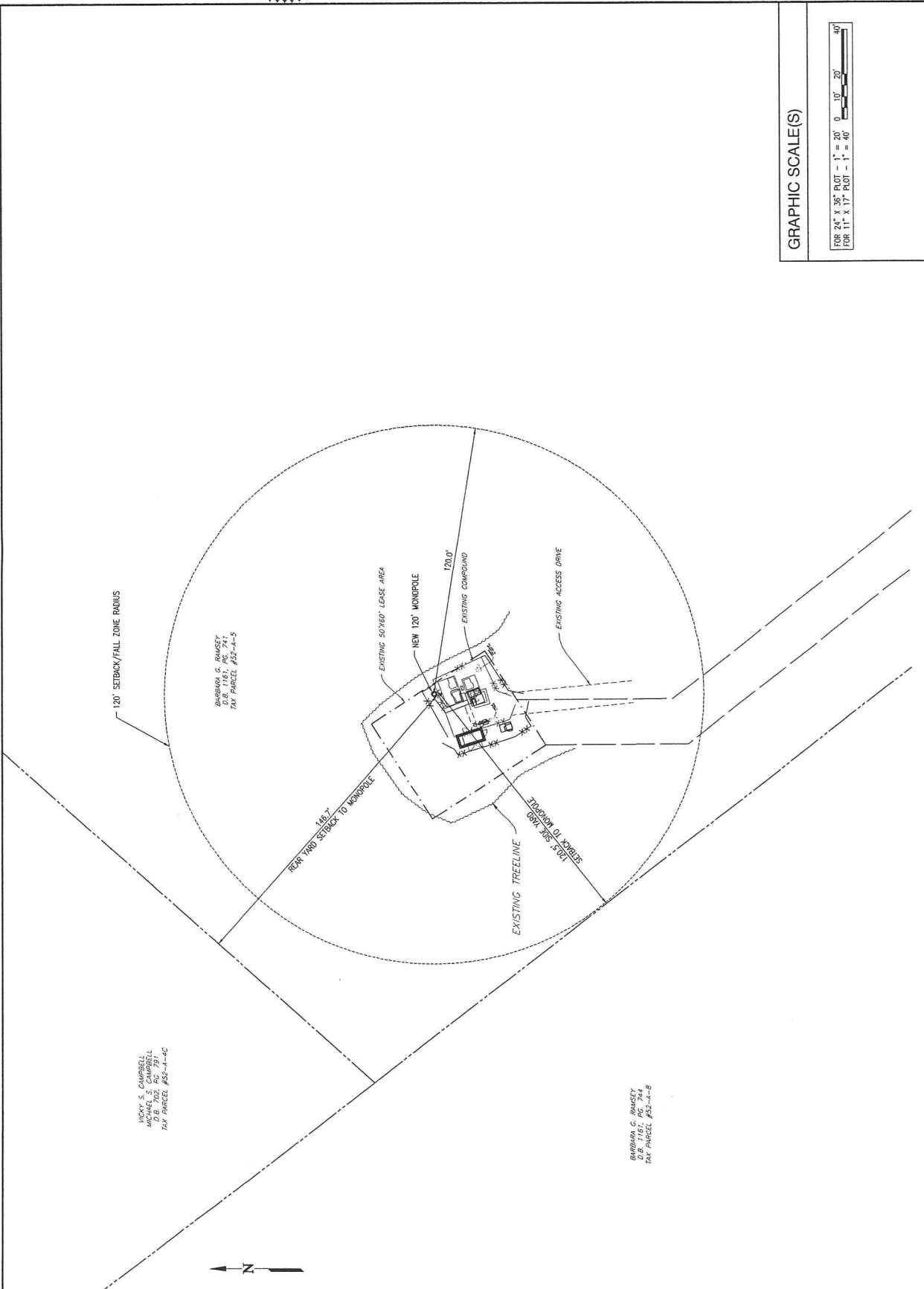
369 MOSES MOUNTAIN
 ROAD
 AMHERST, VA
 24521
 AMHERST COUNTY

DESIGN: COY
 DRAWN: KAW
 REVIEW: SHP
 TV DATE: 5/26/11
 COMPI. NO. 3064.BJG

SYMBOL	DESCRIPTION	DATE
△	PRELIMINARY CONSTRUCTION DIMENSIONS	6/17/11
△	FINAL CONSTRUCTION DIMENSIONS	6/18/12
△	REVISED TO INCLUDE MONOPOLE	04/12/12
△	REVISED FOR REGULATORY COMMENTS	05/15/12
△	FINAL CONSTRUCTION DIMENSIONS	06/12/12

OVERALL SITE
 PLAN

SHEET NO.:
C-1A



GRAPHIC SCALE(S)

FOR 24" X 36" PLOT - 1" = 20'
 FOR 11" X 17" PLOT - 1" = 40'

CLARK NEXSEN
 Architecture & Engineering
 1311 L STREET, N.W.
 SUITE 400
 WASHINGTON, DC 20005
 202-461-9260 FAX 202-461-9266
 WWW.CLARKNEXSEN.COM

verizon wireless
 1831 BOLD COURT
 RICHMOND, VA 23222



STATION:
 NORTH AMHERST
 LTE (4G)
 UPGRADE AND
 GENERATOR
 ADDITION
 369 MOSES MOUNTAIN
 ROAD
 AMHERST, VA
 24521
 AMHERST COUNTY

DESIGN: CCY
DRAWN: KAW
REVIEW: SPP
DATE: 5/26/11
COMPILED: 3/26/11

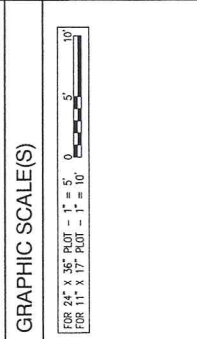
SY#	DESCRIPTION	DATE
1	PRELIMINARY CONSTRUCTION DRAWINGS	8/17/11
2	FINAL CONSTRUCTION DRAWINGS	5/16/12
3	ISSUED FOR REGULATORY COMMENTS	8/17/12
4	FINAL CONSTRUCTION DRAWINGS	8/17/12

SHEETNAME:
 ENLARGED SITE
 PLAN
SHEET NO.:
 C-2

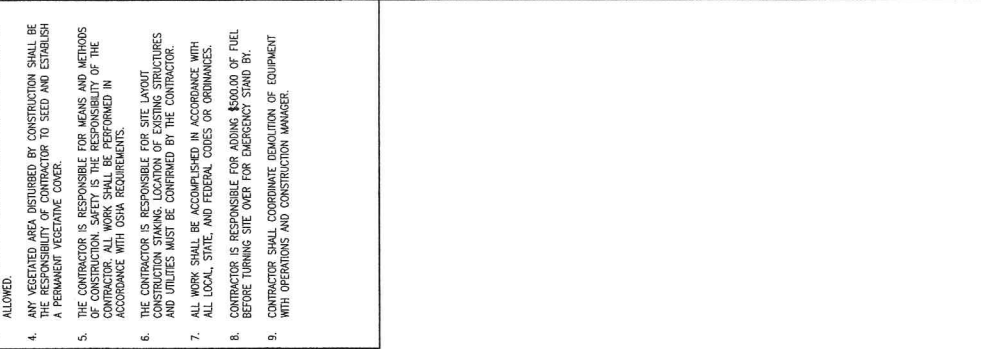
- DEMOLITION NOTES**
- REMOVE EXISTING WOOD POLE AND GUY WIRES
 - REMOVE PORTION OF EXISTING CHAIN LINK FENCE
 - REMOVE EXISTING PPC CABINET
 - REMOVE EXISTING GATE
 - REMOVE EXISTING SATELLITE HUT
 - REMOVE PORTION OF EXISTING ICE BRIDGE
 - REMOVE EXISTING 200 AMP SERVICE

- LEASE NOTES**
- APPROXIMATE LOCATION OF EXISTING VERIZON WIRELESS 20' ACCESS/UTILITY EASEMENT
 - APPROXIMATE LOCATION OF EXISTING VERIZON WIRELESS 50' X 60' LEASE AREA

- CONSTRUCTION NOTES**
- NEW VERIZON MESA CABINET
 - NEW MONOPOLE
 - BBU
 - LTE CABINETS ON DOUBLE STACK FLOOR STAND
 - ICE BRIDGE
 - NEW SERVICE STAND
 - NEW 6' X 12' GENERATOR PAD
 - NEW FENCE AND GATE
 - PULL BOX
 - FUTURE OBS 850 MHZ CABINET



- GENERAL NOTES**
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL ASSUME THE RESPONSIBILITY OF LOCATING ANY UNDERGROUND UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST AND CROSS THROUGH THE PROJECT AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR REPAIRING AT HIS EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
 - ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED BY CONTRACTOR IN ACCORDANCE WITH THE LATEST EDITION OF VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AT THE FIRST PHASE OF CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION TO ENSURE THEY ARE FUNCTIONING AS INTENDED.
 - THE STOCKPILING OF EXCESS MATERIAL ON SITE WILL NOT BE ALLOWED.
 - ANY VEGETATED AREA DISTURBED BY CONSTRUCTION SHALL BE THE RESPONSIBILITY OF CONTRACTOR TO SEED AND ESTABLISH A PERMANENT VEGETATIVE COVER.
 - THE CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA REQUIREMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR SITE LAYOUT, CONSTRUCTION STAKING, LOCATION OF EXISTING STRUCTURES AND UTILITIES MUST BE CONFIRMED BY THE CONTRACTOR.
 - ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES OR ORDINANCES.
 - CONTRACTOR IS RESPONSIBLE FOR ADDING \$500.00 OF FUEL BEFORE TURNING SITE OVER FOR EMERGENCY STAND BY.
 - CONTRACTOR SHALL COORDINATE DEMOLITION OF EQUIPMENT WITH OPERATIONS AND CONSTRUCTION MANAGER.





SITE NO.
 NORTH AMHERST
 LTE (4G)
 UPGRADE AND
 GENERATOR
 ADDITION

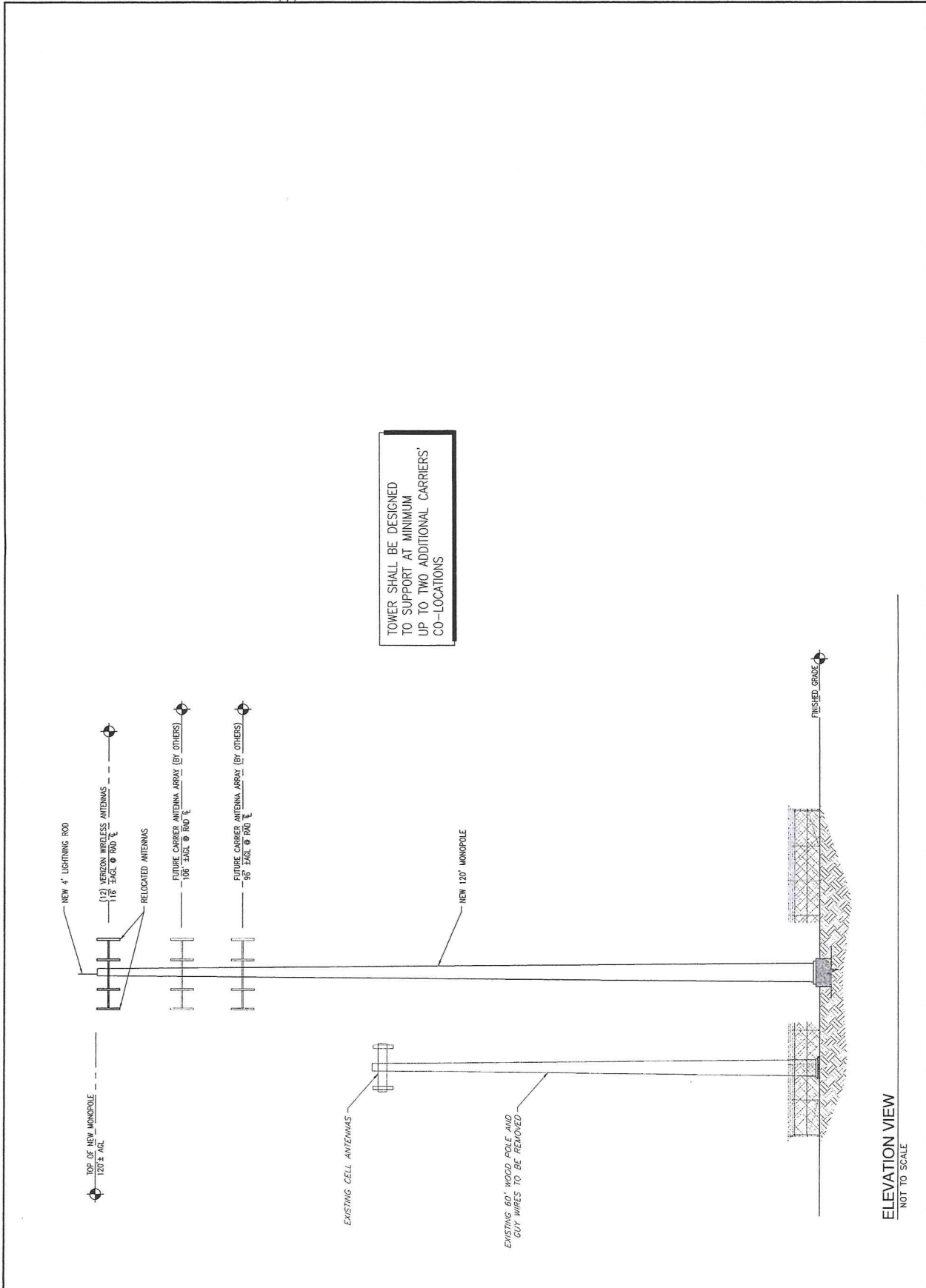
369 MOSES MOUNTAIN
 ROAD
 AMHERST, VA
 24521
 AMHERST COUNTY

DESIGN	CVT
DRAWN	KAW
REVIEW	SPP
TV DATE	3/26/11
COMM. NO.	3036/JLG

SP#	DESCRIPTION	DATE
Δ	PRELIMINARY CONSTRUCTION DRAWINGS	6/17/11
Δ	FINAL CONSTRUCTION DRAWINGS	3/16/12
Δ	REVISED TO INCLUDE MONOPOLE	04/12/12
Δ	REVISED FOR REGULATORY COMMENTS	05/15/12
Δ	FINAL CONSTRUCTION DRAWINGS	06/12/12
Δ		
Δ		
Δ		
Δ		
Δ		

SHEET NAME
 ELEVATION VIEW

SHEET NO.
 C-3



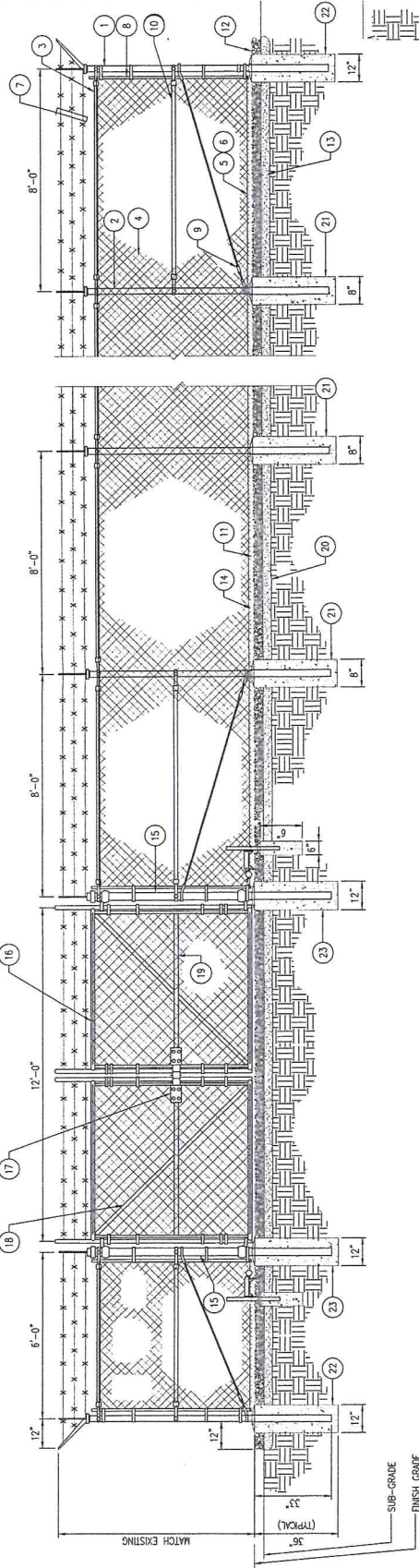
TOWER SHALL BE DESIGNED
 TO SUPPORT AT MINIMUM
 UP TO TWO ADDITIONAL CARRIERS'
 CO-LOCATIONS

ELEVATION VIEW
 NOT TO SCALE

REV	DESCRIPTION	DATE
1	ISSUE FOR CONSTRUCTION DRAWINGS	6/17/11
2	REVISED TO INCLUDE WORKABLE	6/17/12
3	REVISED PER REGULATORY COMMENTS	05/15/12
4	FINAL CONSTRUCTION DRAWINGS	06/13/12

SHEET NAME: DETAILS

SHEET NO.: C-4

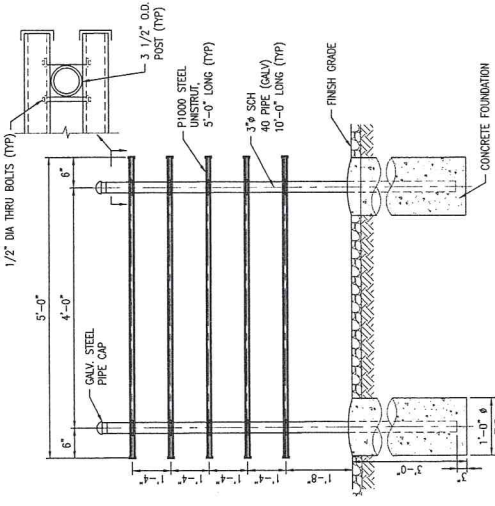


- GENERAL NOTES:**
1. INSTALLATIONS PER ASTM F-567
 2. INSTALL SWING GATES PER ASTM F-900
 3. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED.
 4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL STEEL TO BE GALV. FRAME SHALL BE HEAVY. ALL WELDING SHALL BE COMPLETED WITH (3) COATS OF COLD GALV. (OR EQUAL).
 5. ALL OPEN POSTS SHALL HAVE END-CAPS.
 6. USE GALVANIZED HOOK-RINGS WIRE TO MOUNT ALL SIGNS.
 7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.

11. 1/2" MAXIMUM CLEARANCE FROM GRADE.
12. FINISH OR AS DETERMINED BY CONSTRUCTION MANAGER
13. FINISH OR AS DETERMINED BY CONSTRUCTION MANAGER
14. FINISH OR AS DETERMINED BY CONSTRUCTION MANAGER
15. GATE POST 4" SCHEDULE 40 PIPE FOR GATE WIDTHS UP THRU 7 FEET FRAME 4" SCHEDULE 40 PIPE FOR GATE WIDTHS UP THRU 7 FEET FRAME 6" SCHEDULE 40 PIPE PER ASTM-F1088.
16. GATE LOCKING BRACE (OFC)
17. 1-1/2" DIA INDUSTRIAL MALLEABLE IRON OFFSET PIN HINGE (PACE-WILSON M-6 OR EQUAL)
18. GATE FRAME BRACE
19. GEOTEXTILE FABRIC
20. GEOTEXTILE FABRIC CONCRETE FOUNDATION (2000 PSI)
21. CORNER POST: CONCRETE FOUNDATION (2000 PSI)
22. CORNER POST: CONCRETE FOUNDATION (2000 PSI)
23. GATE POST: CONCRETE FOUNDATION (2000 PSI)

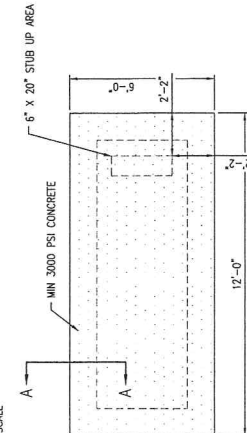
1. CORNER, END OR PULL POST 3" NOMINAL SCHEDULE 40 PIPE
2. LINE POSTS: 2 1/2" SCHEDULE 40 PIPE PER ASTM-F1088. USE 3" NOMINAL SCHEDULE 40 PIPE PER ASTM-F1088
3. TOP RAIL BRACE RAIL 1 1/2" PIPE PER ASTM-F1088
4. FABRIC: 9 GA CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392.
5. THE WIRE: MINIMUM 11 GA GALVANIZED STEEL AT POSTS AND RAILS A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOOK TENSION WIRE: 8 GA GALVANIZED STEEL
6. BARBED WIRE: DOUBLE STRAND 12-1/2" O.D. TWISTED WIRE TO APPROXIMATELY 5" CENTERS.
7. STRETCHER BAR: 800 WITH GALVANIZED STEEL TURNBUCKLE OR ANCHOR
8. DIAGONAL THREADBARS: 1/2" DIA EACH CORNER EACH WAY.
9. FENCE CORNER POST BRACE: 1 5/8" DIA EACH CORNER EACH WAY.

CONSTRUCTION NOTES



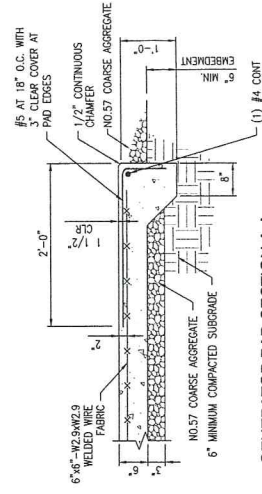
5 UTILITY SERVICE STAND
NO SCALE

COMPOUND FENCE DETAIL
NO SCALE



NOTE: CONTRACTOR TO COORDINATE CONDUIT STUB-UPS THROUGH THE STUB UP AREA TO ENSURE NO REINFORCING REBARS ARE CUT. CONCRETE TO BE POURED AROUND THE CONDUITS AFTER CONDUIT STUB-UPS ARE INSTALLED WITHIN THE STUB UP AREA.

GENERATOR PAD DETAIL
NO SCALE



GENERATOR PAD SECTION A-A
NO SCALE



STENOLOG
**NORTH AMHERST
 LTE (4G)
 UPGRADE AND
 GENERATOR
 ADDITION**

**369 MOSES MOUNTAIN
 ROAD
 AMHERST, VA
 24521
 AMHERST COUNTY**

DESIGN:	CCY	DATE:	
DRAWN:	HLB	PRELIMINARY CONSTRUCTION DRAWINGS:	6/17/11
REVIEW:	ENB	FINAL CONSTRUCTION DRAWINGS:	3/16/12
ITV DATE:	5/26/11	ISSUED FOR BIDDING:	6/17/12
COMPL. NO.:	3036.ILG	ISSUED FOR REGULATORY COMMENTS:	06/15/12
		FINAL CONSTRUCTION DRAWINGS:	06/17/12

**ELECTRICAL SITE
 PLAN**

SHEET NO. **E-1**

LEGEND

	GROUND ROD - 5/8" x 8' W/CHAMFLED EXOTERMIC WELD GROUND CONNECTION
	INSPECTION PORT
	CAPPED EXOTHERMIC WELD CONNECTION
	#2 BARE THINNED COPPER WIRE
	POWER WIRING
	MULTIPLE POWER WIRES
	TELECO WIRING
	FIBER WIRING
	UTILITY KWH METER
	NOTE REFERENCE NUMBER
	GENERATOR
	EQUIPMENT CONNECTION
	EQUIPMENT LIGHT

- ELECTRICAL SITE PLAN NOTES**
- #12 IN 1" PVC (SCH 40) FROM VERIZON WIRELESS ATIS TO NEW GENERATOR FOR CONTROL CIRCUITS. RUN MIN 30" BELOW FINISHED GRADE.
 - NEW VERIZON WIRELESS EMERGENCY POWER SERVICE FROM NEW GENERATOR TO ATIS. (2) 3/250 Kcmil, #12 GND IN 3" PVC (SCH 40). RUN MIN 30" BELOW FINISHED GRADE.
 - (2) 2#10 W/110 GND IN 1" PVC CONDUIT FROM PNL A TO GENERATOR. (2) 2#10 W/110 GND IN 1" PVC CONDUIT FROM PNL B TO GENERATOR. PROVIDE 20A/1P CIRCUIT BREAKERS AS REQUIRED FOR A COMPLETE INSTALLATION.
 - (3) CAT-5 CABLES IN 1" PVC CONDUIT FROM NEW GENERATOR TO VERIZON WIRELESS ATIS FOR ALARM CIRCUITS. RUN MIN 30" BELOW FINISHED GRADE. (PNAL TERMINATION TO BE DETERMINED).
 - 4" PVC CONDUIT 36" BELOW GRADE. STUB UP OUTSIDE OF FENCE FOR LOCAL UTILITY POWER CONNECTION.
 - CONDUIT FROM POWER PANEL TO MESA DISCONNECT AND CABINET.
 - CONDUIT FROM POWER PANEL TO EXISTING 4812 MHZ POWER CABINET. COORDINATE SWITCH OVER FROM EXISTING PFC.
 - CONDUIT FROM POWER PANEL TO LIE BBI.
 - CONDUIT FROM POWER PANEL TO EXISTING UBS 1900 MHZ CABINET.
 - EQUIPMENT LIGHT. PROVIDE 2 #12, 1 #12 GND, 1" CONDUIT BRANCH CIRCUIT CONNECTION TO A-5.
 - PNL A
 - AUTOMATIC TRANSFER SWITCH (ATS)
 - MAIN DSC
 - UTILITY METER PROVIDED BY LOCAL UTILITY POWER PROVIDER. INSTALLED BY CONTRACTOR.
 - SPACE 2" PVC CONDUITS FROM PNL A TO PULL BOX WITH PULL STRINGS FOR FUTURE UBS 850 MHZ CABINETS.
 - PULL BOX
 - CUTLER HANDED OCCUPYER DISCONNECT FOR VERIZON MESA CABINET. SUBSTITUTIONS MUST BE APPROVED BY VERIZON. FOR DEMOLITION NOTES
 - DEMOLISH EXISTING ELECTRICAL EQUIPMENT. SEE SHEET C-1 FOR DEMOLITION NOTES

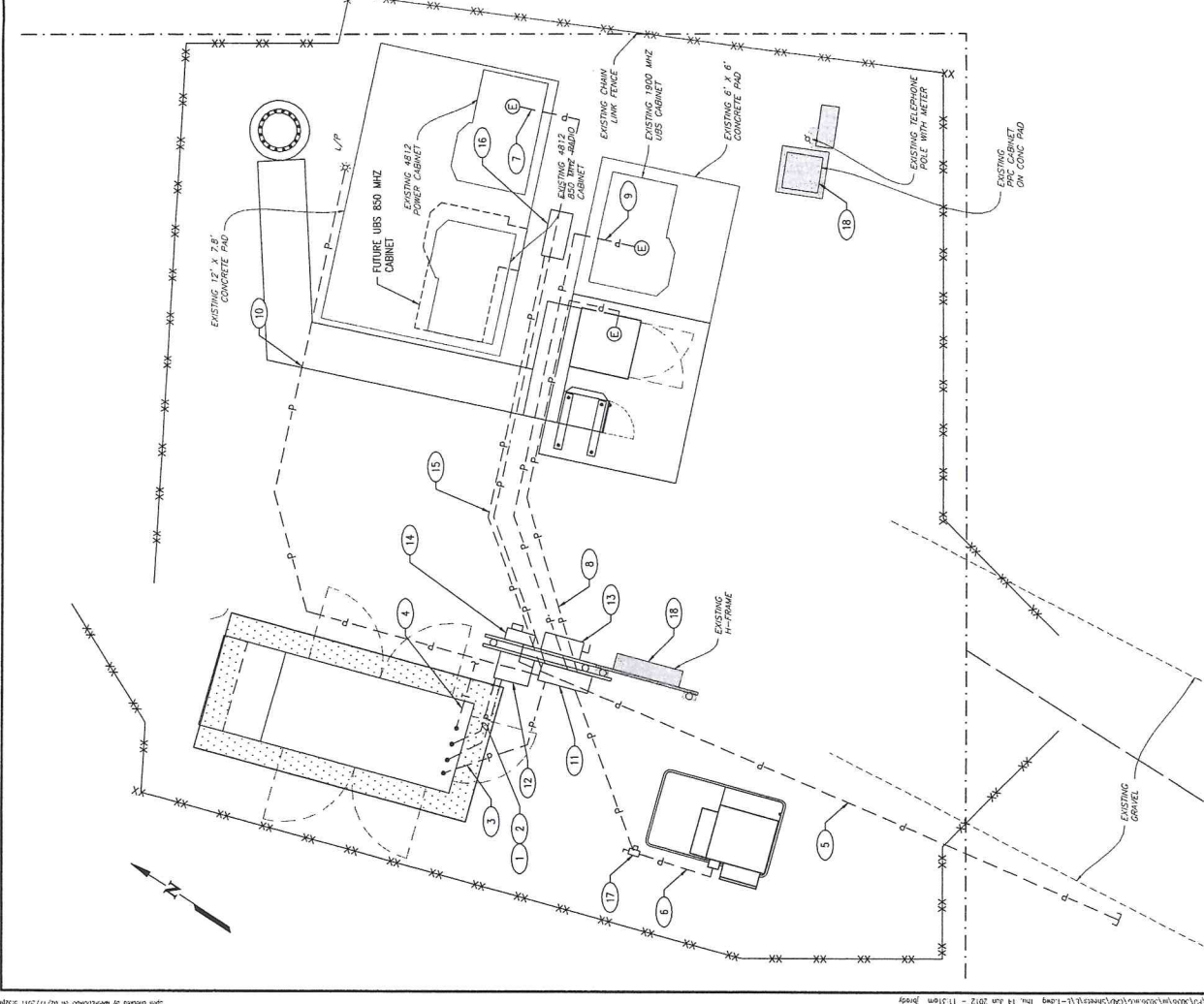
GRAPHIC SCALE(S)

FOR 9" x 6" 3/4" PLOT - 1" = 25'
 FOR 11" x 17" PLOT - 1" = 5'

ABBREVIATIONS

A	AMPERE
ATS	AUTOMATIC TRANSFER SWITCH
C	CONDUIT
CB	CIRCUIT BREAKER
CD	CABLE DUCT
EX	EXPOSED
G	GROUND
KWH	KILO WATT HOUR
AB	ALUMINUM BRACKET
P	POLE
PNL	PANEL BOARD
PVC	POLYVINYL CHLORIDE
SD	STEEL DECK
TBOW	TINNED BARE COPPER WIRE
THIN	THERMOPLASTIC HIGH HEAT-RESISTANT NYLON-COATED TYPICAL DISTRIBUTABLE POWER SUPPLY
UPS	UNINTERRUPTIBLE POWER SUPPLY
UW	UNLESS OTHERWISE NOTED
W	WIRE

- GENERAL ELECTRICAL NOTES**
- ALL EMPTY CONDUIT SHALL HAVE PULL STRING INSTALLED AND SHALL BE CLEANED OF ALL DEBRIS AND CAPPED (WEATHER TIGHT) AT BOTH ENDS.
 - PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT "MISS UTILITIES" AT 811 AND HAVE THEM LOCATE ALL UNDERGROUND 24-HOUR BEHIND DIGGING UTILITIES. ALL DAMAGE RESULTING FROM FAILURE TO CONTACT "MISS UTILITIES" WILL BE AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL REPAIR TO ITS ORIGINAL CONDITION ALL EXCAVATIONS CREATED BY THE UTILITY COMPANY AFTER INITIAL TRENCHING HAS BEEN BACKFILLED AND SETTLEMENT OR COMPACTION OCCURS.
 - ALL PERSONNEL WORKING ON THE TOWER MUST COMPLY WITH VERIZON WIRELESS RF EMISSIONS GUIDELINE POLICY.
 - CONTRACTOR SHALL VERIFY THE EXISTING FIELD CONDITIONS.
 - APPROXIMATE CONDUIT RUNS ARE SHOWN. CONTRACTOR SHALL CHANGE THE CONDUIT ROUTE TO MEET REQUIREMENTS.
 - ALL CONDUITS UNDER DRIVEWAYS AND PARKING AREAS SHALL BE SLEAVED IN 4" RGS CONDUIT.
 - ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2008 NATIONAL ELECTRICAL CODE. ALL CONDUCTORS ARE COPPER THRU/THRU-2, UN.
 - PROVIDE LIQUID-TIGHT CONDUIT SEAL WITH INSULATED BUSHINGS FOR EXTERIOR CONDUIT TERMINATIONS.
 - EQUIPMENT IS CONSIDERED NEW UNLESS OTHERWISE NOTED.
 - INSTALL ABOVE GRADE CONDUIT MIN 30" BELOW FINISHED GRADE.
 - CONTRACTOR SHALL COORDINATE DECOMMISSIONING OF EQUIPMENT WITH OPERATIONS AND CONSTRUCTION MANAGER. TURNING SITE OVER FOR EMERGENCY STANDBY.
 - COORDINATE CONSTRUCTION PHASING AND EQUIPMENT DECOMMISSIONING WITH OPERATIONS AND CONSTRUCTION MANAGER. PROGRAM REQUIREMENTS PRIOR TO THE COMMENCEMENT OF WORK.
 - DECOMMISSION EXISTING SERVICE FEEDERS AND DEMOLISH ASSOCIATED EXISTING SERVICE FEEDERS PRIOR TO THE CONNECTION OF NEW SERVICE EQUIPMENT AND FEEDERS.
 - DEMOLITION OF EQUIPMENT MUST BE APPROVED BY OPERATIONS AND COORDINATED WITH THE CONSTRUCTION MANAGER.
 - COORDINATE SHORT CIRCUIT AVAILABLE FAULT WITH LOCAL UTILITY. PROVIDE EQUIPMENT AND EQUIPMENT COMPONENTS WITH AN AVAILABLE FAULT CURRENT AVAILABLE FAULT OR AS RECOMMENDED BY EQUIPMENT MANUFACTURER.





PROJECT:
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 LTE (4G)
 UPGRADE AND
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 ADDITION
 369 MOSES MOUNTAIN
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 AMHERST COUNTY

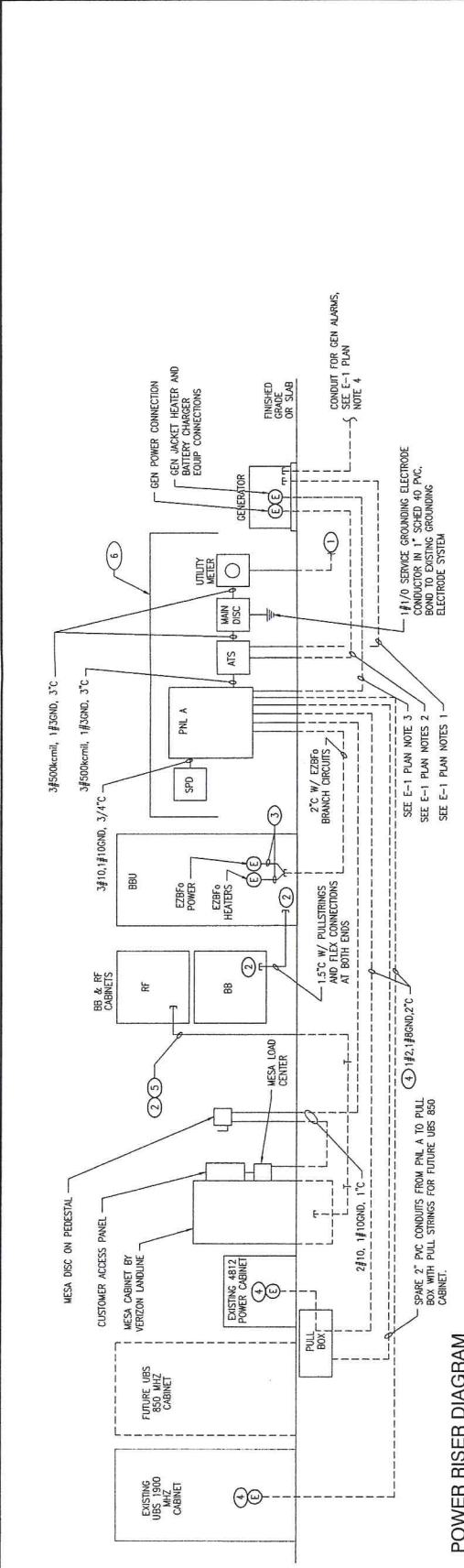
DESIGN: JNY
DRAWN: ENB
REVIEW: HLB
DATE: 5/26/11
CONTRACT NO.: 3036.H/LG

SUBMITTALS

NO.	DESCRIPTION	DATE
1	PRELIMINARY CONSTRUCTION DRAWINGS	6/17/11
2	FINAL CONSTRUCTION DRAWINGS	7/16/12
3	REVISED TO INCLUDE WORKLOG	8/12/12
4	REVISED FOR RESUBMIT COMMENTS	10/23/12
5	FINAL CONSTRUCTION DRAWINGS	10/27/12

SHEET NAME:
 ELECTRICAL
 DETAILS

SHEET NO.:
 E-2



POWER RISER EQUIPMENT SCHEDULE

TAG	DESCRIPTION	FEEDER OR BRANCH CIRCUIT
PNL A	400A, 3P-PH, 120/240VAC, 3W, NEMA 3R PNL WITH FEED-THRU LUGS MANUF: SQUARE D INDR SERIES	SEE RISER
SPD	TVSS SURGE PROTECTION DEVICE, MANUF: AC DATA AM-2080-14-07	SEE RISER
ATS	AUTOMATIC TRANSFER SWITCH (ATS): 240/120V, 400A, NEMA 3R, 2-PH, 1-PHASE ATS W/ SOLID NEUTRAL, PROGRAMMABLE ENGINE EXERCISER, AND STRIP HEATER W/ THERMOSTAT, MANUF: ASCO 300-2-400-F-1-A-1-1B6-4G-240V 60HZ	SEE RISER
MAIN DISC	400A/2P, 400A FUSE, 3W, NEMA 3R SERVICE ENTRANCE FUSED DISCONNECT.	SEE RISER
EBZP6 POWER	240VAC INPUT 50A/2P RBU PROVIDED BY OTHERS. PROVIDE FINAL CONNECTIONS PER MANUFACTURER AND ALCATEL-LUCENT ELECTRICAL CONNECTION REQUIREMENTS.	2#10, #16GND
EBZP6 HEATERS	240VAC, 15A/2P, EBZP6, CONNECTION FOR EQUIPMENT HEATERS. PROVIDE FINAL CONNECTIONS PER MANUFACTURER AND ALCATEL-LUCENT ELECTRICAL CONNECTION REQUIREMENTS.	2#12, #12GND
BB/RF CABINETS	LTE EQUIPMENT INSTALLED AND PROVIDED BY OTHERS.	SEE RISER
UTILITY METER	POWER COMPANY UTILITY METER, INSTALLED BY CONTRACTOR. COORDINATE WITH LOCAL UTILITY PRIOR TO INSTALLATION. BOND METER W/ #10GND TO SERVICE EQUIPMENT GROUND.	SEE RISER
GENERATOR	80 KW, 120/240V, 3W, 1-PHASE, GENERATOR PROVIDED BY VERIZON WIRELESS. COORDINATE FINAL ELECTRICAL CONNECTIONS WITH VERIZON WIRELESS PRIOR TO INSTALLATION.	SEE RISER
MES A CABINET	220V, 30A FIBER CABINET, PROVIDE FINAL CONNECTIONS PER MANUFACTURER'S ELECTRICAL CONNECTION REQUIREMENTS.	2#10, #10 GND, 3/A/C
MES B DISC	30A/2P, NEMA 3R, DISCONNECT. DISCONNECT MOUNTED ON PEDESTAL	2#10, #10 GND, 1/C

- POWER RISER NOTES:**
1. 1" PVC CONDUIT 3" BELOW GRADE. SETUP UP OUTSIDE OF FENCE FOR LOCAL POWER COMPANY CONNECTION. COORDINATE FINAL TERMINATION LOCATION WITH POWER COMPANY PRIOR TO INSTALLATION.
 2. COORDINATE FINAL CONDUIT TERMINATION LOCATION WITH ALCATEL-LUCENT PRIOR TO INSTALLATION.
 3. ROUTE CONTINUOUS EBZP6 BRANCH CIRCUIT CONDUCTORS TO PANELBOARD VIA RACEWAY SYSTEM INDICATED.
 4. PROVIDE NEW BRANCH CIRCUIT CONNECTION TO EXISTING EQUIPMENT. COORDINATE THE TRANSITION OF ELECTRICAL SERVICE TO EQUIPMENT WITH VERIZON PRIOR TO INSTALLATION.
 5. (2) 2" CONDUIT WITH 3 WAY INNERDUCT AND PULL STRINGS IN EACH INNERDUCT.
 6. MOUNT EQUIPMENT TO H-FRAME. SEE SHEETS E-1 AND C-2.

PANEL A SCHEDULE

CKT NO.	LOAD DESCRIPTION	400 AMP BUS		240/120 VOLTS		1PH, 3W, 3N		MIN 22 KAC		SURFACE MOUNTED	
		COND WIRE SIZE	TRIP	AMPS	KVA	PH	WIRE SIZE	COND	TRIP	SIZE	LOAD DESCRIPTION
1	GENSET CHARGER	20	13.3	1.8	A	2.4	20.0	30	1.8	A	MES A Cabinet
2	EQUIPMENT LIGHT	20	3.3	0.4	A	10.8	50.0	125	0.8	A	4812 Power Cabinet
3	SPARE	20			A	10.8	50.0			A	
4	SPARE	20			A	10.8	50.0			A	
5	SPARE	20			A	10.8	50.0			A	
6	SPARE	20			A	10.8	50.0			A	
7	SPARE	20			A	10.8	50.0			A	
8	SPARE	20			A	10.8	50.0			A	
9	SPARE	20			A	10.8	50.0			A	
10	SPARE	20			A	10.8	50.0			A	
11	SPARE	20			A	10.8	50.0			A	
12	SPARE	20			A	10.8	50.0			A	
13	SPARE	20			A	10.8	50.0			A	
14	SPARE	20			A	10.8	50.0			A	
15	SPARE	20			A	10.8	50.0			A	
16	SPARE	20			A	10.8	50.0			A	
17	SPARE	20			A	10.8	50.0			A	
18	SPARE	20			A	10.8	50.0			A	
19	SPARE	20			A	10.8	50.0			A	
20	SPARE	20			A	10.8	50.0			A	
21	SPARE	20			A	10.8	50.0			A	
22	SPARE	20			A	10.8	50.0			A	
23	SPARE	20			A	10.8	50.0			A	
24	SPARE	20			A	10.8	50.0			A	
25	SPARE	20			A	10.8	50.0			A	
26	SPARE	20			A	10.8	50.0			A	
27	SPARE	20			A	10.8	50.0			A	
28	SPARE	20			A	10.8	50.0			A	
29	SPARE	20			A	10.8	50.0			A	
30	SPARE	20			A	10.8	50.0			A	
TOTAL AMPS (CONN. LOAD)		A:									
TOTAL AMPS (CONN. LOAD)		B:									
TOTAL AMPS (CONN. LOAD + FEED-THRU)		A:									

PANELBOARD NOTES:
 1. PROVIDE WITH FEED-THRU LUGS.
 * SEE PLANS FOR WIRE AND CONDUIT SIZE



PROJECT:
NORTH AMHERST
LTE (4G)
UPGRADE AND
GENERATOR
ADDITION

369 MOSES MOUNTAIN
ROAD
AMHERST, VA
24521
AMHERST COUNTY

DESIGN: JTY
DRAWN: EHS
CHECKED: EHS
DATE: 07/11
COMPLETION: 08/2016

REV	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	07/11
2	FINAL CONSTRUCTION DRAWING	06/12/12
3	ISSUE TO FIELD	06/12/12
4	ISSUE FOR REBAR CONCRETE	06/12/12
5	FINAL CONSTRUCTION DRAWING	06/12/12

**ELECTRICAL
DETAILS**

E-3

GROUNDING PLAN NOTES

- EGR - EQUIPMENT GROUND RING THE EQUIPMENT/TOWER GROUNDING SYSTEM SHALL BE INSTALLED BY THE CONTRACTOR. THE EQUIPMENT LENGTH SHALL BE PROVIDED FOR THE FOLLOWING:
 - TWO (2) GROUND LEADS FOR THE BASE OF THE TOWER.
 - TWO (2) GROUND LEADS FOR THE TOWER BOTTOM GROUND BAR.
 - GROUND LEADS SHALL BE PROVIDED FOR EACH MECHANICAL UNIT.
 - GROUND LEADS SHALL BE PROVIDED FOR EACH DIESEL GENERATOR.
 - GROUND LEADS SHALL BE PROVIDED FOR THE METEOR METER BASE.
- GENERATOR GROUND RING - CONTRACTOR SHALL INSTALL A GROUND RING PER VERIZON WIRELESS SPECIFICATIONS. THE GROUND RING MUST BE INSTALLED WITHIN THE PERIMETER OF THE DIESEL GENERATOR. #2 TINNED SOLID COPPER EXOTHERMIC WELDS ONLY BELOW GROUND. #2 LEADS FROM THE EGR ARE TO BE SLEAVED IN PVC TOWER ATTACHMENTS, EXTERIOR BUS BARS & ICE - BRIDGE POSTS ATTACH BY EXOTHERMIC WELD. THE GENERATOR GROUND RING SHALL BE INSTALLED WITHIN THE PERIMETER OF THE TOWER GROUND RING AT A MINIMUM OF TWO POINTS, TO BE ACCESSIBLE BY A CAPPED PVC TIE WELL. ADDITIONALLY, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE INSTALLATION OF THE NEW GENERATOR GROUND RING TO THE EXISTING GROUND RING AT A MINIMUM OF 4 POINTS. RESISTIVITY/ECR INSPECTION - 24-HOUR NOTICE SHALL BE GIVEN TO VERIZON WIRELESS BEFORE THE COMPLETION OF THE EGR, TO ALLOW FOR AN OPEN TRENCH INSPECTION OF THE SYSTEM, AND TO WITNESS THE GROUND FIELD RESISTIVITY TEST. THE TEST REPORT SHALL BE PROVIDED TO VERIZON WIRELESS WITH AN EXPECTED READING OF LESS THAN 5 OHMS. A RESISTIVITY TEST REPORT, WITH A COPY OF THE TEST UNIT'S MOST RECENT CALIBRATION CERTIFICATION IS REQUIRED.
- DOWNWELL TO ICE BRIDGE POST (TYP).
- EXISTING BELOW GRADE EQUIPMENT GROUNDING SYSTEM IS BASED ON PROTOTYPAL GROUNDING SYSTEMS FOR WIRELESS EQUIPMENT. THE CONTRACTOR SHALL VERIFY THAT THE EXISTING GROUNDING SYSTEM IS IN PLACE AND SHALL INDICATE EXACT ROUTING OF THE GROUNDING SYSTEM USING SURFACE MARKING. WHERE EXISTING GROUNDING CONDUCTOR USE CARE TO MAINTAIN CONTINUITY OF EXISTING GROUND SYSTEM WHILE PERFORMING WORK UNDER THIS CONTRACT. NEW CONNECTION TO EXISTING TINNED COPPER WIRE BONDED TO EQUIPMENT GROUND RING FOR EACH OF THE FOLLOWING:
 - LTE BB CABINET
 - LTE RF CABINET
 - LTE BATTERY BACKUP STEEL FRAME
 - LTE BATTERY BACKUP STEEL FRAME
 - LTE COAX GROUND BAR
 - DPS CABINET
 - ICE BRIDGE POST (EACH NEW & EACH EXISTING WITHOUT GROUND LEAD)
- DIESEL GENERATOR
- GROUND LEAD INSPECTION PORT TO NEW ELECTRICAL SERVICE.
- CONNECT NEW PERIMETER GROUND WITH PARALLEL TYPE EXOTHERMIC WELD TO EXISTING PERIMETER GROUND.
- EQUIPMENT FRAME GROUND.
- TIN COATED TOWER GROUND BAR FASTENED WITH TIGHT PROOF STAINLESS STEEL HARDWARE.

GRAPHIC SCALE(S)

